



**AGENDA**  
**JUNE 4, 2024**  
**LAVON CITY COUNCIL**  
**CITY HALL, 120 SCHOOL ROAD, LAVON, TEXAS**  
**REGULAR MEETING**  
**6:30 PM**

- 1. PRESIDING OFFICER TO CALL THE MEETING TO ORDER AND ANNOUNCE THAT A QUORUM IS PRESENT**
- 2. PLEDGE OF ALLEGIANCE AND INVOCATION**
- 3. ITEMS OF INTEREST/COMMUNICATIONS**  
*Members may identify community events, functions, and other activities.*
- 4. CITIZENS COMMENTS**  
*Citizens may provide comments (3-minute time limit/person). The response regarding items that are not on the agenda may be to request items be placed on a future agenda or referred to city staff.*
- 5. PROCLAMATION**  
- Juneteenth – June 19
- 6. CONSENT AGENDA**  
*Consent items are considered routine or non-controversial and will be voted on in one motion unless a separate discussion is requested by a member.*
  - A.** Approve the minutes of the May 21, 2024 meeting.
  - B.** Approve Resolution No. **2024-06-01** approving and authorizing the execution of a Memorandum of Understanding for the partial abandonment of specific prescriptive right of way along Bois D’Arc Road adjacent to the Elevon development project.
  - C.** Approve the replat of the Elevon Parkway West Addition, Block A, Lot 2 to Lots 2R & 4 to add a lot adjacent to and east of 361 Elevon Parkway, Lavon, City of Lavon, Collin County, TX (CCAD Property ID 2898020).
  - D.** Approve the replat of the Trails of Lavon Phase 2A Addition, Block F, Lot 73 to revise the dimensions of Block F, Lot 73, create a common area tract and dedicate right of way along CR 484 northeast of the intersection of CR 484 and CR 483, south of the power line easement, City of Lavon, Collin County, TX (CCAD Property ID 1249928), subject to final planning and engineering review and approval.
- 7. ITEMS FOR CONSIDERATION**
  - A.** Discussion and action regarding the second of two readings of Resolution No. **2024-05-04** authorizing the Lavon Economic Development Corporation authorizing the Lavon Economic Development Corporation to expend funds for one or more projects to assist in the promotion of new and expanded business development in Lavon along School Road, not to exceed \$150,000.00 for the cost of the projects and providing an effective date.
  - B.** Public Hearing, discussion, and action regarding an application from Atmos Energy for a conditional use permit to construct a regulator station to provide gas to the Trails of Lavon subdivision at Trails of Lavon, Phase 3 Addition, Block CC, Lot 28X east of the intersection of Lavon Trail Parkway and Yucca Ave., previously labeled Cedar Ave., 790 Lavon Trail Parkway, Lavon, Collin County, Texas (CCAD Property ID 1249928).
    - 1)** Presentation of proposed application.
    - 2)** Open and continue the **PUBLIC HEARING** to receive comments regarding the proposed application to a meeting beginning at 6:30 p.m. on July 2, 2024.
    - 3)** Discussion regarding the proposed application.

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- C. Public Hearing, discussion, and action regarding an amendment to Article 9.01 of the City of Lavon Code of Ordinances – Public Works Construction, Section 9.01.001 (a)(2) Adoption of Standards Subsection to update and replace the City’s Standard Construction Details.
  - 1) Presentation of proposed amendment.
  - 2) **PUBLIC HEARING** to receive comments regarding the proposed amendment.
  - 3) Discussion and action regarding the proposed amendment and accompanying Ordinance No. **2024-06-01.**
- D. Discussion and action regarding Resolution No. **2024-06-02** approving and authorizing the execution of a Multiple Use Agreement with the Texas Department of Transportation (TxDOT) allowing the installation and operation of a fixed license plate reader system in TxDOT right of way.
- E. Discussion and action regarding Board and Commission appointments - Planning and Zoning Commission and Lavon Volunteer Fire Department Board of Directors.
- F. Discussion regarding scheduling an election to reauthorize the local sales and use tax in the City of Lavon to continue providing revenue to be used strictly for the maintenance and repair of streets.
- G. Discussion and action regarding fall special events scope and scheduling.

**8. SET FUTURE MEETINGS AND AGENDA**

*Requests may be made for items to be placed on a future agenda or for a special meeting.*

June 18, 2024 – Regular Meeting  
 Work Session - 6:00 p.m.

**9. PRESIDING OFFICER TO ADJOURN THE MEETING**

This is to certify that this Agenda was duly posted on the City’s website at [www.cityoflavon.com](http://www.cityoflavon.com) and at City Hall and on or before 6:00 PM on May 31, 2024.

*/ Rae Norton /*

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Rae Norton, City Secretary

- 1. Notice is hereby given that members of the City Council, Economic Development Corporation Board, Planning and Zoning Commission, and Parks and Recreation Board may attend the meeting.
- 2. The body reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City); §551.072 (discussing purchase, exchange, lease or value of real property); §551.074 (discussing personnel or to hear complaints against personnel); and §551.087 (discussing economic development negotiations). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

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**PROCLAMATION  
City of Lavon, Texas  
JUNETEENTH**

**WHEREAS**, On January 1, 1863, President Abraham Lincoln signed the Emancipation Proclamation, declaring the enslaved people in Confederate territory free, paving the way for the passing of the 13<sup>th</sup> Amendment which formally abolished slavery in the United States of America; and

**WHEREAS**, it took more than two years for the news of the signing of the Emancipation Proclamation to reach authorities and enslaved people in the South and Southwestern United States on June 19, 1865; and

**WHEREAS**, June 19<sup>th</sup> is known as “JUNETEENTH” combining the words June and Nineteenth and has been recognized in our country for over 150 years.

**NOW THEREFORE**, the City Council of the City of Lavon does hereby encourage the observance of

**Juneteenth**

that the citizens of the City of Lavon commit to remembrance of the past and embrace freedom, equity, and opportunity for all residents, thereby strengthening the fabric of our City, State, and Nation.

**BE IT SO PROCLAIMED** this 4<sup>th</sup> day of June 2024.

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Vicki Sanson, Mayor



**MINUTES  
MAY 21, 2024  
LAVON CITY COUNCIL  
CITY HALL, 120 SCHOOL ROAD, LAVON, TEXAS  
REGULAR MEETING**

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ATTENDING: VICKI SANSON, MAYOR  
MIKE COOK, PLACE 2, MAYOR PRO TEM  
KAY WRIGHT, PLACE 3  
TED DILL, PLACE 4  
LINDSEY HEDGE, PLACE 5

ABSENT: MIKE SHEPARD, PLACE 1

**1. MAYOR SANSON CALLED THE MEETING TO ORDER AT 6:30 P.M. AND ANNOUNCED A QUORUM PRESENT.**

**2. MAYOR SANSON LED THE RECITATION OF THE PLEDGE OF ALLEGIANCE AND MR. DILL DELIVERED THE INVOCATION.**

**3. ITEMS OF INTEREST/COMMUNICATIONS**

- Babysitter Training, May 29-31, 2024
- Camp 911 on June 5, 2024
- Bicycle Rodeo on July 25, 2024

**4. CITIZENS COMMENTS**

There were none.

**5. PROCLAMATIONS**

The City Council recognized Emergency Medical Services Week and Public Works Week with proclamations.

**6. PRESENTATION**

Pam Sardo, Josephine Area Chamber of Commerce presented information regarding the formation of the new organization and proposed collaboration with the City of Lavon when mutually beneficial.

**7. WORK SESSION**

Abra Nusser, LJA, provided a presentation of the background and the process utilized in development of the park vision and concept design. The City Council members generally expressed support for the concept. Rough cost estimates and phasing options were presented. Matters and questions specifically discussed included:

- Barn – feasibility of restoring existing barn; staff to obtain a professional assessment of the structure’s condition
- Dog Parks – two, one, or none; now or future; staff to look into insurance/liability factors and survey other cities regarding use, size, regulations, or issues
- Venue – additional details
- Splash Pad – more fountain-like, less Disney-like
- Pond – concerns shared re wildlife; fish stocked for fishing events
- Fields – ways to add variety, ie. batting cage or other alternatives
- Play area – all-abilities

**8. CONSENT AGENDA**

**A. Approve the minutes of the May 7, 2024, meeting.**

- B. Approve Resolution No. 2024-05-02 approving and authorizing the execution of Change Request No. 24 with Mart, Inc. for the City of Lavon Fire Department and Public Works Facilities Expansion (CIP-9) Construction Project in an amount not to exceed \$5,637.00 for the addition of paving to improve area drainage.
- C. Approve Resolution No. 2024-05-03 approving and authorizing the execution of Change Order No. 5 with Mart, Inc. for the City of Lavon Fire Department and Public Works Facilities Expansion (CIP-9) Construction Project for an estimated reduction of \$21,200.00 to deduct epoxy flooring in the Fire Station from the contract.

**MOTION: APPROVE THE CONSENT AGENDA.**

MOTION MADE: COOK

SECONDED: HEDGE

APPROVED: UNANIMOUS (Absent: Shepard)

**9. ITEMS FOR CONSIDERATION**

- A. **Presentation, discussion, and action regarding Capital Improvement Plan, infrastructure priorities, and funding opportunities.**

City Manager Kim Dobbs and City Engineer Mark Hill provided information regarding the update. Mr. Hill provided a cost estimate of \$12,000,000 for construction of the Lavon East Wastewater Treatment Plant. Ms. Dobbs suggested adding an item for park planning and design. It was noted that the priorities and funding will be reviewed in conjunction with the budget process.

- B. **Discussion, and action regarding the first of two readings of Resolution No. 2024-05-04 authorizing the Lavon Economic Development Corporation authorizing the Lavon Economic Development Corporation to expend funds for one or more projects to assist in the promotion of new and expanded business development in Lavon along School Road, not to exceed \$150,000.00 for the cost of the projects and providing an effective date.**

Lavon Economic Development Corporation Executive Director Pam Mundo provided information about the project and steps taken to date. Ms. Dobbs noted that this is the first of two readings, and the second reading would be scheduled for the following meeting.

**MOTION: APPROVE THE FIRST READING OF RESOLUTION NO. 2024-05-04 AUTHORIZING THE LAVON ECONOMIC DEVELOPMENT CORPORATION AUTHORIZING THE LAVON ECONOMIC DEVELOPMENT CORPORATION TO EXPEND FUNDS FOR ONE OR MORE PROJECTS TO ASSIST IN THE PROMOTION OF NEW AND EXPANDED BUSINESS DEVELOPMENT IN LAVON ALONG SCHOOL ROAD, NOT TO EXCEED \$150,000.00 FOR THE COST OF THE PROJECTS AND PROVIDING AN EFFECTIVE DATE.**

MOTION MADE: DILL

SECONDED: COOK

APPROVED: UNANIMOUS

- C. **Discussion and action regarding Resolution No. 2024-05-05 approving and authorizing the execution of a professional services agreement with LJA Engineering, Inc. for the preparation of a drainage analysis along Bear Creek at the Lavon Trail and Pedestrian Bridge Crossing including a Letter of Map Revision as required by the City’s flood plain regulations in an amount not to exceed \$35,650.00.**

Ms. Dobbs and Mr. Hill provided information regarding the requirements and proposed agreement.

**MOTION: APPROVE RESOLUTION NO. 2024-05-05 APPROVING AND AUTHORIZING THE EXECUTION OF A PROFESSIONAL SERVICES AGREEMENT WITH LJA ENGINEERING, INC. FOR THE PREPARATION OF A DRAINAGE ANALYSIS ALONG BEAR CREEK AT THE LAVON TRAIL AND PEDESTRIAN BRIDGE CROSSING**

**INCLUDING A LETTER OF MAP REVISION AS REQUIRED BY THE CITY'S FLOOD PLAIN REGULATIONS IN AN AMOUNT NOT TO EXCEED \$35,650.00.**

MOTION MADE: COOK  
SECONDED: WRIGHT  
APPROVED: UNANIMOUS

- D. Discussion and action regarding Ordinance No. 2024-05-02 amending Chapter 8 “Offenses and Additional Provisions”, Article 8.03 “Noise”, of the Code of Ordinances of the City of Lavon, as amended, Section 8.03.001 “Definitions and Territorial Application” to amend the territorial application; Section 8.03.005 “Times for Operation of Equipment Restricted” and Section 8.03.006 “Times for Performing Construction Activities Restricted” to restrict noise on Sunday; and Section 8.03.007 “Special Permit for After-Hours Construction or Operation of Equipment” to revise the permit process.**

Ms. Dobbs provided information regarding the proposed amendment.

**MOTION: APPROVE ORDINANCE NO. 2024-05-02 AMENDING CHAPTER 8 “OFFENSES AND ADDITIONAL PROVISIONS”, ARTICLE 8.03 “NOISE”, OF THE CODE OF ORDINANCES OF THE CITY OF LAVON, AS AMENDED, SECTION 8.03.001 “DEFINITIONS AND TERRITORIAL APPLICATION” TO AMEND THE TERRITORIAL APPLICATION; SECTION 8.03.005 “TIMES FOR OPERATION OF EQUIPMENT RESTRICTED” AND SECTION 8.03.006 “TIMES FOR PERFORMING CONSTRUCTION ACTIVITIES RESTRICTED” TO RESTRICT NOISE ON SUNDAY; AND SECTION 8.03.007 “SPECIAL PERMIT FOR AFTER-HOURS CONSTRUCTION OR OPERATION OF EQUIPMENT” TO REVISE THE PERMIT PROCESS.**

MOTION MADE: WRIGHT  
SECONDED: HEDGE  
APPROVED: UNANIMOUS

- E. Discussion and action regarding acceptance of the Lavon North Sanitary Sewer Lift Station project.**

Mr. Hill presented information regarding the project.

**MOTION: APPROVE AND ACCEPT THE LAVON NORTH SANITARY SEWER LIFT STATION PROJECT SUBJECT TO FINAL APPROVAL OF THE CITY ENGINEER.**

MOTION MADE: DILL  
SECONDED: WRIGHT  
APPROVED: UNANIMOUS

- F. Discussion and action regarding appointment of the primary member representative and an alternate member representative to the Regional Transportation Council, the transportation policy body for the North Texas Council of Governments, the regional Metropolitan Planning Organization.**

Ms. Dobbs provided information regarding the Regional Transportation Council (RTC) and the potential nominations.

**MOTION: ENDORSE THE NOMINATIONS OF CITY COUNCIL MEMBER MICHAEL SCHAEFFER, CITY OF ALLEN AND MAYOR MATTHEW PORTER, CITY OF WYLIE RESPECTIVELY AS THE PRIMARY REPRESENTATIVE AND ALTERNATE REPRESENTATIVE TO THE REGIONAL TRANSPORTATION COUNCIL.**

MOTION MADE: WRIGHT  
SECONDED: DILL  
APPROVED: UNANIMOUS

- G. Discussion regarding utility administration of commercial garbage service.**

Ms. Dobbs provided information regarding the possible transfer of the account set up and administration of commercial garbage accounts to CWD, noting that the transfer could very likely result in a higher level of service for customers. The consensus of the City Council was to move forward with the plan and bring back a contract amendment.

#### **10. DEPARTMENT REPORTS**

- A. Police Services** – Chief Mike Jones provided information regarding reports, programs, and referenced information provided in the meeting packet. Chief Jones noted that over the past month at least 30 contacts were made with drivers crossing the parking lot to get from SH 78 to Business 78.
- B. Fire Services** – Fire Chief Danny Anthony referenced the reports in the meeting packet and answered questions.
- C. Public Works** – Director of Public Works David Carter provided general information regarding the public works operations.
- D. Administration** – Ms. Dobbs referenced reports in the meeting packet including building permits; CWD service; Collin County tax collection; sales tax; finance report; TxDOT projects report; and administration and staff report.

#### **11. SET FUTURE MEETINGS AND AGENDA**

June 4, 2024 – Regular Meeting

#### **12. MAYOR SANSON ADJOURNED THE CITY COUNCIL MEETING AT 8:57 P.M.**

**DULY PASSED and APPROVED by the City Council of Lavon, Texas, on this 4<sup>th</sup> day of June 2024.**

\_\_\_\_\_  
Vicki Sanson, Mayor

**ATTEST:**

\_\_\_\_\_  
Rae Norton, City Secretary



# CITY OF LAVON

## Agenda Brief

MEETING: June 4, 2024

ITEM: 6 - B

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**Item:**

CONSENT AGENDA

Approve Resolution No. 2024-06-01 approving and authorizing the execution of a Memorandum of Understanding for the partial abandonment of specific prescriptive right of way along Bois D'Arc Road adjacent to the Elevon development project.

**Background:**

On April 2, 2024, the City Council considered and approved in concept a request from MA Land Holdings, LLC for the abandonment of specific prescriptive right of way along Bois D'Arc where it is adjacent to property under contract related to the Elevon development project north of Elevon Parkway. The request presented was for the City to commit to the abandonment of the requested prescriptive right of way upon the provision of concrete paved public access through Lot 2, Block A of the Elevon East Commercial Addition extending from Elevon Parkway to either the adjacent northern property presently owned by DPB Investments LP or to Bois D' Arc at the northeastern boundary of Lot 2.

In drafting the final Memorandum of Understanding (MOU), the timeline and terms were slightly altered from what was initially discussed and the MOU is being returned to the City Council for formal consideration and approval.

**Financial Consideration:**

There is no direct financial implication.

**Staff Notes:**

The city attorney and city engineer participated in the development of the MOU. Approval is recommended.

**Attachments:** Proposed Resolution and MOU

**CITY OF LAVON, TEXAS**  
**RESOLUTION NO. 2024-06-01**

MOU – Partial Abandonment of Right of Way Bois D’Arc

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAVON APPROVING AND AUTHORIZING THE EXECUTION OF A MEMORANDUM OF UNDERSTANDING WITH MA LAND HOLDINGS, LLC FOR PARTIAL RIGHT OF WAY ABANDONMENT ALONG BOIS D’ARC ROAD ADJACENT TO THE ELEVEN DEVELOPMENT PROJECT; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the MA Land Holdings, LLC is under contract to purchase property on both sides of the prescriptive right of way of Bois D’Arc Road and has requested that such right of way be abandoned; and

**WHEREAS**, on April 2, 2024, the City of Lavon City Council considered and expressed support for the request subject to certain conditions; and

**WHEREAS**, the City Council of the City of Lavon finds and determines that approving the non-binding Memorandum of Understanding is in the best interests of the citizens of the City of Lavon.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS, THAT:**

**SECTION 1.** The City Council does hereby approve and authorize the execution of a Memorandum of Understanding for the partial abandonment of specific prescriptive right of way along Bois D’Arc Road adjacent to the Eleven development project, attached hereto and incorporated herein as “Exhibit A”.

**SECTION 2.** This resolution shall take effect from and after the date of its passage.

**DULY PASSED AND APPROVED** by the City Council of the City of Lavon, Texas on the 4<sup>th</sup> day of June 2024.

\_\_\_\_\_  
Vicki Sanson  
Mayor

ATTEST:

\_\_\_\_\_  
Rae Norton  
City Secretary

**RESOLUTION NO. 2024-06-01**

**EXHIBIT A**

**MEMORANDUM OF UNDERSTANDING  
(PARTIAL RIGHT-OF-WAY ABANDONMENT)**

This Memorandum of Understanding (this “**MOU**”) is made and entered into as of \_\_\_\_\_, 2024, by and between the **CITY OF LAVON, TEXAS**, a home rule municipality (the “**City**”), and **MA LAND HOLDINGS, LLC**, a Texas limited liability company (“**Owner**”) (each individually, a “**Party**” and collectively, the “**Parties**”).

**RECITALS**

**WHEREAS**, Owner is the record owner of certain real property located in the City of Lavon, Collin County, Texas, as more particularly described on Exhibit A attached hereto and incorporated herein (the “**Owner Property**”);

**WHEREAS**, Owner is under contract to purchase that certain real property located in the City of Lavon, Collin County, Texas, as more particularly described on Exhibit B attached hereto and incorporated herein (the “**Miller Property**”, and together with the Owner Property, collectively, the “**Property**”);

**WHEREAS**, the Owner Property and the Miller Property each abut Bois D’Arc Road, an approximately thirty-foot prescriptive right-of-way that commences at its intersection with Elevon Parkway and runs northwest to an intersection with State Highway 78;

**WHEREAS**, Owner has formally requested in writing that the City vacate and abandon that portion of Bois D’Arc Road abutting the Owner Property and the Miller Property as depicted in Exhibit C attached hereto and incorporated herein (the “**Abandonment Area**”); and

**WHEREAS**, the City is willing to agree to the abandonment of the Abandonment Area pursuant to the terms and conditions more particularly set forth below.

**NOW, THEREFORE**, in consideration of the foregoing, and on the terms and conditions hereinafter set forth, and other valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

**AGREEMENT**

1. Partial Abandonment. The City hereby agrees, upon satisfaction of the Conditions Precedent (defined below), to cause the Abandonment Area to be officially vacated and abandoned by ordinance, in accordance with any and all state and local laws, such that an unencumbered fee interest in the Abandonment Area shall transfer to Owner.

2. Conditions Precedent. The City shall have no obligation with respect to the Abandonment Area hereunder until the following conditions precedent are satisfied (collectively, the “**Conditions Precedent**”):

(a) Owner (or its affiliates) shall have acquired the Miller Property; and

(b) Owner has obtained the written consent of the owners of Block U, Lot 5X, Lakepointe at Lavon Homeowners Association, Inc., for abandonment of the Abandonment Area; and

(c) The Notice to Proceed to construct the paved public access through Lot 2, Block A of the Elevon East Commercial Addition extending from Elevon Parkway to either the adjacent northern

property presently owned by DPB Investments LP, or to Bois D' Arc at the northeastern boundary of Lot 2 has been given.

(d) The City shall have approved the site plan for the Property, which site plan shall include the construction of a publicly accessible paved driveway across the Property to provide a means of vehicular ingress and egress between the right-of-way of Elevon Parkway and either, at Owner's election, (i) the northernmost boundary line of the Owner Property, or (ii) the portion of Bois D' Arc Road located outside of the Abandonment Area.

3. Reversion. The document setting forth the City's abandonment of the Abandonment Area shall include a reversionary clause providing that the Abandonment Area shall revert back to the City in the event that the road described in Section 2(c) is not constructed within one (1) year of the date the document is recorded.

4. No Dedication. Nothing set forth in this MOU shall be deemed to be a gift or dedication of any portion of the Property to the general public or for any public purpose whatsoever, it being the intention of the parties that this MOU be strictly limited to and for the purposes herein expressed.

5. Governing Law. This MOU shall be governed by and construed in accordance with the laws of the State of Texas.

6. Entire Agreement. This MOU sets forth the Parties' entire understanding and agreement with respect to the subject matters described herein.

7. Amendment/Modification. This MOU may not be amended, altered, modified, or terminated except by written agreement executed by the Parties; provided, however, this MOU shall automatically terminate if Owner provides written notice to the City that it has determined not to acquire the Miller Property.

8. Notices. The Parties' respective addresses for notices for all purposes under this MOU are as follows:

City:

City of Lavon  
Attention: Kim Dobbs, City Manager  
PO Box 340  
120 School Road  
Lavon, Texas 75166  
Email: kdobbs@lavontx.gov

Owner:

MA Land Holdings, LLC  
c/o MA Partners, LLC  
Attention: John Marlin  
2121 Midway Road, Suite 240  
Carrollton, Texas 75006  
Email: jmarlin@madev.com

All notices or other communications required or permitted to be given pursuant to this MOU shall be in writing and will be deemed delivered at the time of (i) three (3) business days after deposit with the United States Postal Service, postage prepaid, registered or certified mail with return receipt requested; (ii) delivery by a third-party commercial delivery service, whether by overnight delivery or by courier, or (iii) receipt by e-mail.

9. Non-Binding Agreement. The Parties understand and agree that this MOU constitutes only an expression of intent and shall have no binding effect on the Parties.

[signatures follow]

IN WITNESS WHEREOF, this MOU is executed to be effective as of the date first set forth above.

**CITY**

**CITY OF LAVON, TEXAS,**  
a Texas home rule municipality

By: \_\_\_\_\_  
Name: Vicki Sanson  
Title: Mayor

**OWNER**

**MA LAND HOLDINGS, LLC,**  
a Texas limited liability company

By: MA Partners, LLC,  
a Texas limited liability company  
Its: Sole Manager

By: \_\_\_\_\_  
Name: John D. Marlin  
Title: Manager

**EXHIBIT A**

**OWNER PROPERTY**

**TRACT 1**

BEING a parcel of land located in Collin County, Texas, a part of the Samuel M. Rainer Survey, Abstract Number 740, and being a part of that called Tract Two-31.3507 acre tract of land described in deed to 78 Straddle, LP, as recorded in Volume 5571, Page 3351, Official Public Records of Collin County, Texas and being further described as follows:

BEGINNING at a one-half inch iron rod with cap stamped "USA INC" found in the west line of said 31.3507 acre tract, said point being in the east right-of-way line of State Highway Number 78 (a variable width right-of-way), said point also being at the northwest corner of that called 3.519 acre tract of land described in deed to MA Elevon 429, LLC, as recorded in Document Number 20220112000065710, Official Public Records of Collin County, Texas;

THENCE North 33 degrees 44 minutes 25 seconds East, 254.09 feet along the east right-of-way line of State Highway Number 78 to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 31.3507 acre tract, said point also being the southwest corner of that called Tract No. 2-5.1400 acre tract of land described in deed to DPB INVESTMENTS, LP, as recorded in Document Number 20110606000576510, Official Public Records of Collin County, Texas;

THENCE South 88 degrees 39 minutes 35 seconds East, 685.22 feet to a one-half inch iron rod with yellow cap stamped "JBI" set at the northeast corner of said 31.3507 acre tract, said point being the southeast corner of said 5.1400 acre tract, said point also being in the west line of that called 200.9089 acre tract recorded in deed to LDC LAVON, LLC, as recorded in Document Number 20180821001049570, Official Public Records of Collin County, Texas;

THENCE along the east line of said 31.3507 acre tract as follows:

South 06 degrees 55 minutes 38 seconds East, 307.10 feet along the west line of said 200.9089 acre tract to a one-half inch iron rod found for corner, said point being the northwest corner of that called 2.062 acre tract of land described in deed to Connie S. Miller, as recorded in Volume 4001, Page 947, Official Public Records of Collin County, Texas;

South 07 degrees 25 minutes 51 seconds East, 415.07 feet to a one-half inch iron rod found at the southwest corner of said 2.062 acre tract, said point also being at the northwest corner of that called 0.906 acre tract of land, described in deed to MA Lavon 292, LLC as recorded in Document Number 20210316000512630, Official Public Records of Collin County, Texas;

South 07 degrees 32 minutes 16 seconds East, 130.14 feet along the west line of said 0.906 acre tract to a one-half inch iron rod with yellow cap stamped "JBI" set at the northwest corner of said 3.519 acre tract;

THENCE along the north line of said 3.519 acre tract as follows:

North 51 degrees 55 minutes 50 seconds West, 19.11 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Northwesterly, 74.17 feet along a curve to the left, having a central angle of 05 degrees 14 minutes 48 seconds, a radius of 810.00 feet, a tangent of 37.11 feet and whose chord bears North 54 degrees 33 minutes 14 seconds West, 74.15 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 57 degrees 10 minutes 38 seconds West, 725.78 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

North 48 degrees 33 minutes 01 seconds West, 100.00 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

North 57 degrees 10 minutes 38 seconds West, 199.85 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

North 11 degrees 43 minutes 12 seconds West, 28.06 feet to the POINT OF BEGINNING and containing 445,354 square feet or 10.224 acres of land.

Being the same as Parcel 2 conveyed to MA Land Holdings, LLC by 78 Straddle, LP by that certain Special Warranty Deed recorded October 13, 2022, as Document Number 2022000152455, in the Official Public Records of Collin County, Texas.

## **TRACT 2**

Being a parcel of land located in The City of Lavon, Collin County, Texas, a part of the Samuel M. Rainer Survey, Abstract Number 740, and being all of that called 0.91 acre tract of land described in deed to Mary Evans as recorded in Document Number 20080407000414460 Official Public Records of Collin County, Texas, and being further described as follows:

BEGINNING at a one-half inch iron rod found at the northwest corner of said 0.91 acre tract, said point being the southwest corner of that called 2.062 acre tract of land described in deed to Connie S. Miller as recorded in Volume 4001, Page 947, Official Public Records of Collin County, Texas, said point also being in the east line of that called Tract Two-31.3507 acre tract of land described in deed to 78 Straddle, LP, as recorded in Volume 5571, Page 3351, Official Public Records of Collin County, Texas;

THENCE North 85 degrees 43 minutes 40 seconds East, 195.11 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northeast corner of said 0.91 acre tract, said point being the southeast corner of said 2.062 acre tract, said point also being in the west line of that called 200.9089 acre tract of land described in deed to LDC Lavon, LLC as recorded in Document Number 20180821001049570, Official Public Records of Collin County, Texas;

THENCE along the common lines of said 0.91 acre tract and said 200.9089 acre tract as follows:

South 01 degrees 54 minutes 29 seconds East, 110.96 feet to a one-half inch iron rod found for corner;

South 23 degrees 34 minutes 55 seconds East, 73.42 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the southeast corner of said 0.91 acre tract, said point also being the northeast corner of that called 0.478 acre tract of land described in deed to North Texas Municipal Water District as recorded in Document Number 20121116001469900, Official Public Records of Collin County, Texas;

THENCE South 72 degrees 07 minutes 37 seconds West, 207.57 feet to a one-half inch iron rod found for corner, said point being the southwest corner of said 0.91 acre tract, said point being the northwest corner of said 0.478 acre tract, said point also being in the west line of said 31.3507 acre tract;

THENCE North 07 degrees 32 minutes 16 seconds West, 229.33 feet along the common line of said 0.91 acre tract and said 31.3507 acre tract to the POINT OF BEGINNING and containing 39,486 square feet or 0.906 acres of land.

Being the same as Tract 5 conveyed to MA Land Holdings, LLC by MA Lavon 292, LLC by that certain Special Warranty Deed recorded March 24, 2023, as Document Number 2023000030638, in the Official Public Records of Collin County, Texas.

**EXHIBIT B**

**MILLER PROPERTY**

Being a 2.062 acre tract of land situated in the S.M. Ranier Survey, Abstract No. 740, Town of Laven, Collin County, Texas, said 2.062 acres being that certain tract of land described in deed to Daniel P. Metz and wife, Susan Partridge Metz as recorded in Volume 2121, Page 186, Deed Records, Collin County, Texas, said 2.062 acres being more particularly described by metes and bounds as follows:

BEGINNING at a ½ inch iron rod, found, the centerline of Bois D’Arc Lane, said rod being the northwest corner of said tract recorded in Volume 2121, Page 186;

THENCE, South 76 degrees 45 minutes 46 seconds East, leaving said centerline of Bois D’Arc Lane, a distance of 236.18 feet to a ½ inch iron rod, found;

THENCE, South 16 degrees 30 minutes 44 seconds West a distance of 418.93 feet to a ½ inch iron rod, found;

THENCE, North 75 degrees 52 minutes 34 seconds West, a distance of 195.26 feet to a ½ inch iron rod, found in the aforesaid centerline of Bois D’Arc Lane;

THENCE, North 11 degrees 00 minutes 00 seconds East, along said centerline of Bois D’Arc Lane, a distance of 415.36 feet to the POINT OF BEGINNING and containing 2.062 acres of land, more or less.

Being the same property conveyed to Connie S. Miller, a single person, by Daniel P. Metz and Susan Partridge Metz by that certain Warranty Deed with Vendor’s Lien filed for record on September 19, 1997, in Volume 4001, Page 947, Official Public Records of Collin County, Texas.

**EXHIBIT C**

**ABANDONMENT AREA**

[attached]

**EXHIBIT C - ABANDONMENT AREA**  
**PAGE 1 OF 2**

**LEGAL DESCRIPTION**

Being a parcel of land located in The City of Lavon, Collin County, Texas, a part of the Samuel M. Rainer Survey, Abstract Number 740, and being a part of that called Parcel 2-10.224 acre tract of land described in deed to MA LAND HOLDINGS, LLC as recorded in Document Number 20222000152455, Official Public Records of Collin County, Texas, being a part of that called 0.906 acre tract of land described in deed to MA LAND HOLDINGS, LLC as recorded in Document Number 2023000030638, Official Public Records of Collin County, Texas, and also being a part of that called 2.058 acre tract of land described in deed to MA LAND HOLDINGS, LLC as recorded in Document Number \_\_\_\_\_, Official Public Records of Collin County, Texas and being further described as follows:

BEGINNING at a one-half inch iron rod with yellow cap stamped "JBI" found at the northeast corner of said Parcel 2-10.224 acre tract, said point also being in the west line of Block U, Lot 5X Lakepointe Phase IIA, an addition to Collin County, Texas as recorded in Document Number 202111221002562530, Official Public Records of Collin County, Texas;

THENCE South 06 degrees 55 minutes 38 seconds East, 307.10 feet along the east line of said Parcel 2-10.224 acre tract and along the west line of said Lot 5X to a one-half inch iron rod with yellow cap stamped "JBI" found for corner at the northwest corner of said 2.058 acre tract;

THENCE North 84 degrees 43 minutes 14 seconds East, 15.01 feet along the north line of said 2.058 acre tract and along the west line of said Lot 5X to a point for corner;

THENCE South 07 degrees 27 minutes 31 seconds East, 559.91 feet to a point for corner in the southwest line of said 0.906 acre tract, said point being in the north right-of-way line of Elevon Parkway, a variable width right-of-way, as recorded in Document Number 2022-925, Official Public Records of Collin County, Texas;

THENCE North 51 degrees 55 minutes 50 seconds West, 42.82 feet along the North right-of-way line of said Elevon Parkway to a point for corner;

THENCE North 07 degrees 27 minutes 23 seconds West, 530.00 feet to a point for corner in the north line of said Parcel 2-10.224 acre tract of land;

THENCE South 88 degrees 39 minutes 35 seconds East, 15.16 feet along the north line of said Parcel 2-10.224 acre tract to the POINT OF BEGINNING and containing

**BASIS OF BEARING:**

The basis of bearing is based on the coordinate system (North Central Zone 4202 State Plane Coordinates, NAD83).

PRELIMINARY – FOR REVIEW

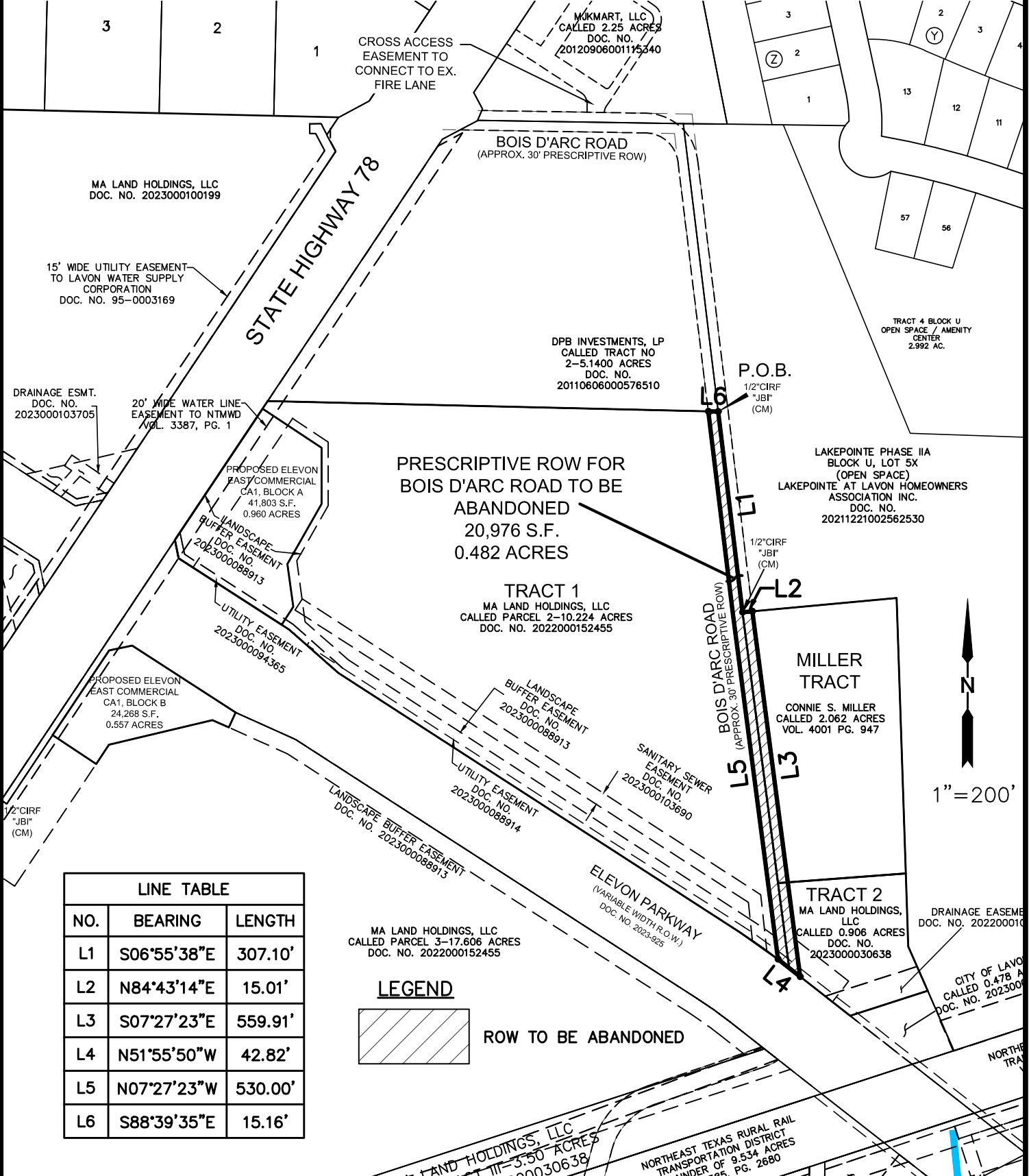
MARK W. HARP, R.P.L.S. NO. 6425  
May 30, 2024



	DATE 05.30.2024	DRAWN drb	PROJECT mat029	<div style="font-size: small; margin-top: 5px;">                 2121 Midway Road                  Suite 300                  Carrollton, Texas 75006                  972.248.7676                  TBPE No. F-438                  TBPLS No. 10076000             </div>
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EXHIBIT C - ABANDONMENT AREA

PAGE 2 OF 2



PRESCRIPTIVE ROW FOR  
BOIS D'ARC ROAD TO BE  
ABANDONED  
20,976 S.F.  
0.482 ACRES

TRACT 1  
MA LAND HOLDINGS, LLC  
CALLED PARCEL 2-10.224 ACRES  
DOC. NO. 2022000152455


LAKEPOINTE PHASE IIA  
BLOCK U, LOT 5X  
(OPEN SPACE)  
LAKEPOINTE AT LAVON HOMEOWNERS  
ASSOCIATION INC.  
DOC. NO.  
20211221002562530

MILLER  
TRACT  
CONNIE S. MILLER  
CALLED 2.062 ACRES  
VOL. 4001 PG. 947

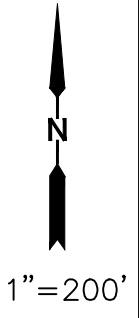
TRACT 2  
MA LAND HOLDINGS, LLC  
CALLED 0.906 ACRES  
DOC. NO.  
2023000030638


LINE TABLE		
NO.	BEARING	LENGTH
L1	S06°55'38"E	307.10'
L2	N84°43'14"E	15.01'
L3	S07°27'23"E	559.91'
L4	N51°55'50"W	42.82'
L5	N07°27'23"W	530.00'
L6	S88°39'35"E	15.16'

**LEGEND**



ROW TO BE ABANDONED



SCALE: 1" = 200'	DATE 05.30.2024	DRAWN DD	PROJECT mat029	 <p>2121 Midway Road Suite 300 Carrollton, Texas 75006 972.248.7676 TBPE No. F-438 TBPLS No. 10076000</p>
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# CITY OF LAVON

## Agenda Brief

MEETING: June 4, 2024

ITEM: 6 – B

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**Item:**

CONSENT AGENDA

Approve the replat of Elevon Parkway West Addition, Block A, Lot 2 to Lots 2R & 4 to add a lot adjacent to and east of 361 Elevon Parkway, Lavon, Collin County, TX (CCAD Property ID 2898020).

### Application Information

**Owner(s):** MA Elevon 429, LLC  
**Applicant:** Kimley-Horn  
**Location:** East of 361 Elevon Parkway  
**Description:** Elevon Parkway West, Block A, Lot 2, City of Lavon, Collin County, Texas  
CCAD Property ID 2898020  
**Current Zoning:** Planned Development  
**Request:** Replat to create an additional lot

### Request Details

On September 6, 2022, the final plat of the Elevon Parkway West Addition was approved and was accepted on November 7, 2023. The applicant is seeking approval of a replat of Block A, Lot 2 to form two lots consisting of Block A, Lot 2R and Lot 4.

The proposed replat subdivides Lot 2, a 5.423-acre lot into two lots: Lot 2R, consisting of 3.001 acres, and Lot 4 consisting of 2.421 acres.

The proposed replat conforms to the requirements provided in Ordinance No. **2022-10-03** that established the Planned Development zoning for the property, within which Block A, Lot 2 is located in Land Use Parcel 7. The applicant advised that the intended use of the newly created lot is development of an elevated water storage facility.

**Code Excerpt:**

**TEXAS LOCAL GOVERNMENT CODE**  
**§ 212.014 REPLATTING WITHOUT VACATING PRECEDING PLAT**

A replat of a subdivision or part of a subdivision may be recorded and is controlling over the preceding plat without vacation of that plat if the replat:

- (1) is signed and acknowledged by only the owners of the property being replatted;
- (2) is approved by the municipal authority responsible for approving plats; and
- (3) does not attempt to amend or remove any covenants or restrictions.

***Planning and Zoning Commission Report:***

**MOTION: RECOMMEND APPROVAL OF THE REPLAT OF THE ELEVON PARKWAY WEST ADDITION, BLOCK A, LOT 2 TO LOTS 2R & 4 TO ADD A LOT ADJACENT TO AND EAST OF 361 ELEVON PARKWAY, LAVON, CITY OF LAVON, COLLIN COUNTY, TX.**

MOTION MADE: COX

SECONDED: TIEGS

APPROVED: UNANIMOUS (Absent: Nabors, Jacob)

***Staff Notes:***

The proposed replat has been reviewed by staff, the planning consultant, and City Engineer. The replat meets the technical requirements of and complies with the subdivision regulations.

Approval is recommended.

- Attachments:**
1. Application and Replat
  2. Location Exhibits
  3. Planning and Engineering Correspondence



# CITY OF LAVON

P.O. Box 340, School Rd. Lavon, TX 75166  
Office 972-843-4220 – Inspection 972-853-0855

## PLAT APPLICATION

Incomplete applications will not be accepted.

<b>Company Making Submission</b>		<b>Property Owner</b>	
Name: <u>Kimley-Horn</u>		Name: <u>MA Elevon 429, LLC</u>	
Address: <u>260 East Davis St. Suite 100</u>		Address: <u>2121 Midway Rd. Suite 240</u>	
City/State/Zip: <u>McKinney, TX 75069</u>		City/State/Zip: <u>Carrollton, TX 75006</u>	
Phone #: <u>214-256-4345</u> Fax #: _____		Phone # <u>972-715-6449</u> Fax # _____	
Authorized Person: <u>John Derry</u>		Authorized Person: <u>John Martin</u>	
<b>Type of Submission</b>		<b>Check List of Items Submitted</b>	
<input type="checkbox"/> Preliminary Plat		<input type="checkbox"/> (two) full size sets of plats (24x36)	
<input type="checkbox"/> Final Plat		<input type="checkbox"/> (two) full size construction sets (24x36)	
<input type="checkbox"/> Re-Submittal		<input type="checkbox"/> (one) half size sets of plats (11x17)	
<input type="checkbox"/> Construction Plans		<input type="checkbox"/> (ten) half size sets of plats with final submission (11x17)	
<input checked="" type="checkbox"/> Other <b>Re-Plat</b>		<input checked="" type="checkbox"/> (one) PDF plats (on separate CD's)	
		<input type="checkbox"/> (one) PDF construction plans (can be included on plat CD)	
<b>Pricing</b>			
Preliminary Plat: C* D*		Per Fee Schedule	
Final Plat: C* D*		Per Fee Schedule	
Re-Plat: C* D*		Per Fee Schedule	
Public Infrastructure Inspection		Per Fee Schedule	
C* Costs shall include the actual costs to the City plus a 10 percent administrative fee. These fees shall be in addition to the permit fee required.			
D* To complete the plat please sign up as a collaborator in the MyGov system <a href="https://public.mygov.us/lavon_tx">https://public.mygov.us/lavon_tx</a> request access to the City of Lavon. Make a new request for the plat and download these forms along with plans.			
<b>NOTICE TO APPLICANT:</b> Any approval will be issued based on the information furnished in this application and on any submitted plats. It is subject to the provisions and requirements of the City of Lavon Code of Ordinances and any other applicable ordinances of the City, regardless of information and/or plans submitted.			
Authorized Representative (Printed Name) <b>John Derry (Kimley-Horn)</b>		Authorized Representative (Signature)	Date: <b>04/18/2024</b>
<b>To be completed by the City</b>			
In Takers Name:			
In takers Review Date:	PW Review Date:	COO Review Date:	Engineer Review Date:
<input type="checkbox"/> Accepted <input type="checkbox"/> Rejected	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected
			P&Z Review Date:
			<input type="checkbox"/> Approved <input type="checkbox"/> Rejected
			Council Action Date:
			<input type="checkbox"/> Approved <input type="checkbox"/> Rejected
Comments:			



**CITY OF LAVON**

P.O. Box 340 - 120 School Rd. - Lavon, TX 75166  
Office 972-843-4220 - Fax 972-843-0397 - Inspection 972-853-0855  
Email: [leann.mccleendon@cityoflavon.org](mailto:leann.mccleendon@cityoflavon.org)

**PLAT APPLICATION**

Please type or print clearly. Incomplete applications will not be accepted.

**Declaration of Ownership**

Date: April 17, 2024

To the City of Lavon  
Collin County, Texas

This letter will serve as notice that I/we, MA Elevon 429, LLC, am/are the owner (s) of record of the property described in the attached survey documentation, submitted with this form, for the purpose of any future proposed request (s) relating to this property.

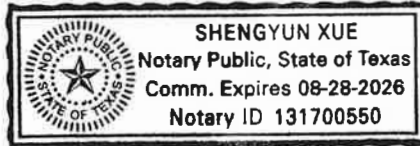
[Signature]  
Signature (Owner)

\_\_\_\_\_  
Signature (Owner)

\_\_\_\_\_  
Signature (Owner)

The State of Texas  
County of Dallas

Before me, the undersigned authority, appeared John Marlin,  
on this the 17<sup>th</sup> day of April, 2024.



(notary seal)

[Signature]  
\_\_\_\_\_  
Notary Public in and for Dallas County, Texas



**CITY OF LAVON**

P.O. Box 340 – 120 School Rd. – Lavon, TX 75166  
Office 972-843-4220 – Fax 972-843-0397 – Inspection 972-853-0855  
Email: [leann.mcclendon@cityoflavon.org](mailto:leann.mcclendon@cityoflavon.org)

**PLAT APPLICATION**

Please type or print clearly. Incomplete applications will not be accepted.

**Authorization of Representation**

Date: April 17, 2024

To the City of Lavon  
Collin County, Texas

This letter will serve as notice that I/we, MA Elevon 429, LLC, am/are the owner (s) of record of the property described in the attached survey documentation, submitted with this form, and do hereby authorize Kimley-Horn to represent me (us) and my (our) interests in the property described in the attached exhibits (s) for the expressed purpose of this request.

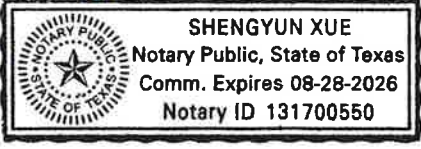
[Signature]  
Signature (Owner)

\_\_\_\_\_  
Signature (Owner)

\_\_\_\_\_  
Signature (Owner)

The State of Texas  
County of Dallas

Before me, the undersigned authority, appeared John Marlin,  
on this the 17<sup>th</sup> day of April, 20 24.

[Signature]  (notary seal)

Notary Public in and for Dallas County, Texas

LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF COLLIN §

WHEREAS, MA ELEVON 429, LLC is the owner of a tract of land situated in the Samuel M. Rainer Survey, Abstract No. 740, in the City of Lavon, Collin County, Texas and being all of Lot 2, Block A, of ELEVON PARKWAY WEST, an addition to the City of Lavon, as recorded in Volume 2023, Page 925, of the Plat Records, Collin County, Texas (P.R.C.C.T.), said tract being more particularly described, as follows:

BEGINNING at an "X" cut found for the northwesterly corner of said Lot 2, same being the northeasterly corner of Lot 1, Block A, of said addition, said corner also being in the southerly right-of-way line of Elevon Parkway, said corner also being in a curve to the left, having a radius of 810.00', a central angle of 36°25'34", and a chord which bears, North 82°05'46" East, a chord distance of 506.33';

THENCE along said curve to the left, in a northeasterly direction, an arc length of 514.96' to a 1/2" iron rod with a plastic cap stamped "JBI" found (herein after referred to as a capped iron rod found) for the most northerly corner of said Lot 2;

THENCE South 63°40'56" East, along the northeasterly line of said Lot 2, passing a 5/8" iron rod with a yellow plastic cap stamped "NTS" set for reference, at a distance of 100.00', and continuing in all, a total distance of 116.19' to a point for corner in the meanders of a creek;

THENCE along the meanders of said creek, the following (7) seven courses and distances:

- 1. South 05°48'40" East, a distance of 122.12' to a point for corner;
2. South 33°44'20" West, a distance of 114.04' to a point for corner;
3. South 10°52'20" West, a distance of 113.36' to a point for corner;
4. South 26°32'20" West, a distance of 93.12' to a point for corner;
5. South 67°00'20" West, a distance of 96.39' to a point for corner;
6. South 50°51'20" West, a distance of 181.60' to a point for corner;
7. South 60°31'20" West, a distance of 43.09' to a point for corner, being the southwesterly corner of said Lot 2, same being the southeasterly corner of Lot 3, of said addition;

THENCE North 14°26'18" West, along the common line between said Lot 2 and Lot 3, passing a 5/8" iron rod with a yellow plastic cap stamped "NTS" set for reference, at a distance of 27.50', and continuing in all a total distance of 277.50' to a capped iron rod found for an angle point;

THENCE North 63°33'09" West, continuing along the common line between said Lot 2 and Lot 3, a distance of 172.77' to a capped iron rod set for an angle point of said Lot 2, same being the most northerly northeast corner of said Lot 3, same being the southeasterly corner of said Lot 1;

THENCE North 16°14'29" West, along the common line between said Lot 1 and Lot 2, a distance of 89.98' to a capped iron rod found for an angle point;

THENCE North 10°18'33" East, continuing along the common line between said Lot 1 and Lot 2, a distance of 136.48' to the POINT OF BEGINNING and containing 236,206 square feet or 5.423 acres of land, more or less.

DEDICATION STATEMENT

STATE OF TEXAS §
COUNTY OF COLLIN §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, MA ELEVON 429, LLC, does hereby adopt this plat, designating the above described property as ELEVON PARKWAY WEST, LOTS 2R AND 4, BLOCK A, an addition to the City of Lavon, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on the plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Lavon. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Lavon's use thereof. The City of Lavon and public utility entity shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Lavon and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time procuring permission from anyone. This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the City of Lavon, Texas.

Witness my hand this the \_\_\_ day of \_\_\_, 2024.

MA ELEVON 429, LLC
MA ELEVON 429, LLC
a Texas limited liability company

By: MA Partners, LLC
a Texas limited liability company
its sole manager

Signature: Allen Jones - Manager

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Allen Jones, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed. WITNESS MY HAND IN COLLIN COUNTY, TEXAS, this the \_\_\_ day of \_\_\_, 2024.

Signature: Notary Public, State of Texas

SURVEYOR'S CERTIFICATE

That I, Michael B. Arthur, do hereby certify that I have prepared this plat and the field notes shown hereon from an on ground survey of that land, and this plat is a true, correct and accurate representation of the physical evidence found at the time of the survey; that the corner monuments shown hereon were found and/or placed under my personal supervision. This plat was prepared in accordance with the platting rules and regulations of the City of Lavon, Texas.

DATED this the \_\_\_ day of \_\_\_, 2024.

Michael B. Arthur
State of Texas Registration No. 5686

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Michael B. Arthur, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND IN COLLIN COUNTY, TEXAS, this the \_\_\_ day of \_\_\_, 2024.

Notary Public, State of Texas

RECOMMENDED FOR APPROVAL:

Date: \_\_\_\_\_

Chairperson, Planning and Zoning Commission
City of Lavon, Texas

APPROVED FOR CONSTRUCTION:

Date: \_\_\_\_\_

Mayor, City of Lavon, Texas

ACCEPTED:

Date: \_\_\_\_\_

Mayor, City of Lavon, Texas

The undersigned, the city secretary of the City of Lavon, Texas, hereby certifies that the foregoing final plat of the REPLAT OF ELEVON PARKWAY WEST, LOTS 2R AND 4, BLOCK A to the City of Lavon was submitted to the City Council on \_\_\_ day of \_\_\_, 2024, and the council, by formal action, then and there accepted the streets, alleys, parks, easements, public places and water and sewer lines, as shown and set forth in and upon said plat and said council further authorizes the mayor to note the acceptance thereof by signing his or her name as hereinabove described.

Witness my hand this \_\_\_ day of \_\_\_, 2024.

City Secretary, City of Lavon, Texas

ABBREVIATIONS

- I.R.F. = Iron Rod Found
(R.M.) = Reference Monument
C.I.R.F. = Capped Iron Rod Found
C.I.R.S. = 5/8" iron rod with yellow plastic cap stamped "NTS" set
P.R.C.C.T. = Plat Records, Collin County, Texas
D.R.C.C.T. = Deed Records, Collin County, Texas
O.P.R.C.C.T. = Official Public Records, Collin County, Texas

OWNER:

MA ELEVON 429, LLC
2121 Midway Road, Suite 240
Carrollton, Texas 75006
Ph: (972) 715-6449
Contact: John Martin

ENGINEER:

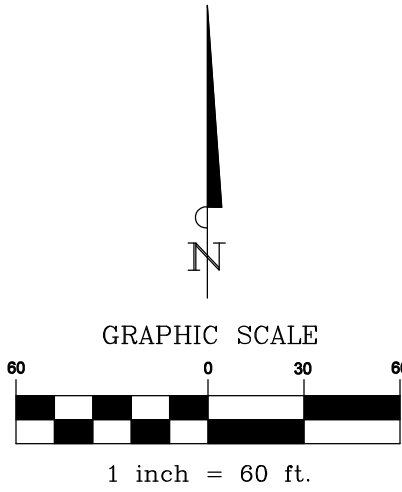
Kimley-Horn
260 East Davis Street, Suite 100
McKinney, Texas 75069
Ph: 469-301-2585
Contact: Joseph E. Helmlinger, P.E.

SURVEYOR:

North Texas Surveying, L.L.C.

Registered Professional Land Surveyors

1010 West University
McKinney, TX 75069
Ph. (469) 424-2074 Fax: (469) 424-1997
www.northtexasurveying.com
Firm Registration No. 10074200



Vicinity Map (not to scale)

REMAINDER OF CALLED 29.925 ACRES
MALAND HOLDINGS, LLC
DOCUMENT NO. 2022000152456, O.P.R.C.C.T.

20' SANITARY SEWER EASEMENT
DOCUMENT NO. 2023000103694, O.P.R.C.C.T.

25' DRAINAGE EASEMENT
DOCUMENT NO. 2023000103704, O.P.R.C.C.T.

25' WIDE DRAINAGE EASEMENT
DOCUMENT NO. 2023000103703, O.P.R.C.C.T.

10' UTILITY EASEMENT
DOCUMENT NO. 2023000090495, O.P.R.C.C.T.

Radius=810.00'
Arc Length=155.27'
Delta=10°59'00"
Chrd. Brng.=N58°23'29"E
Chord=155.04'

20' SANITARY SEWER EASEMENT
DOCUMENT NO. 2023000103689, O.P.R.C.C.T.

REMAINDER OF CALLED 29.925 ACRES
MALAND HOLDINGS, LLC
DOCUMENT NO. 2022000152456, O.P.R.C.C.T.

DRAINAGE EASEMENT
DOCUMENT NO. 2023000103697, O.P.R.C.C.T.

ELEVON PARKWAY

(120' RIGHT-OF-WAY)

Radius=810.00'
Arc Length=514.96'
Delta=36°25'34"
Chrd. Brng.=N82°05'46"E
Chord=506.33'

POINT OF BEGINNING
"X" CUT
FND. (R.M.)

N10°18'33"E
136.48'

30' MUTUAL ACCESS, DRAINAGE, AND UTILITY EASEMENT
VOL. 2023, PG. 925, P.R.C.C.T.

10' UTILITY EASEMENT
VOL. 2023, PG. 925, P.R.C.C.T.

LOT 1, BLOCK A
ELEVON PARKWAY WEST
VOL. 2023, PG. 925, P.R.C.C.T.

LOT 2, BLOCK A
ELEVON PARKWAY WEST
VOL. 2023, PG. 925, P.R.C.C.T.

LOT 4, BLOCK A
105,470 SQ. FT.
2.421 ACRES

LOT 2R, BLOCK A
130,736 SQ. FT.
3.001 ACRES

1/2" C.I.R.F.
"SB" (R.M.)

N63°33'09"W
172.77'

15' AND 40' PERMANENT SANITARY SEWER EASEMENT TO THE CITY OF LAVON
DOCUMENT NO. 2021080300156300, O.P.R.C.C.T.

LOT 3, BLOCK A
ELEVON PARKWAY WEST
VOL. 2023, PG. 925, P.R.C.C.T.

N14°26'18"W
277.50'

1/2" C.I.R.F.
"SB" (R.M.)

POST-100 YEAR FLOODPLAIN PER STUDY PREPARED BY HYDROLINK ENGINEERING
DATED: 08/31/2021

DAVID MCLENDON AND MARY MCLENDON
VOL. 3305, PG. 871, D.R.C.C.T.

S60°31'20"W
43.09'

General Notes:

- 1. According to the Flood Insurance Rate Map of Collin County, Texas, Map No. 48085C0445J, Map Revised June 02, 2009, the herein described property is located in Zone "X", described by said map to be, "areas determined to be outside the 0.2% annual chance floodplain" and in Shaded Zone "A", described by said map to be, "Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood; no base flood elevations determined". This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor in any way.
2. The surveyor has relied on the herein described subject plat with regard to any easements, restrictions, or rights-of-way affecting the above described Property. No additional research regarding said easements, restrictions or rights-of-way has been performed by the surveyor.
3. Bearings are based on the plat of ELEVON PARKWAY WEST, as recorded in Volume 2023, Page 925, of the Plat Records of Collin County, Texas (P.R.C.C.T.).
4. The purpose of this Replat is to divide Lot 2, Block A into 2 lots.

DATE: 04/11/2024 SCALE: 1" = 60' DRAWN BY: C.S.H. CHK'D BY: M.B.A. JOB NO.: 2024-0035

REPLAT
ELEVON PARKWAY WEST
LOTS 2R AND 4, BLOCK A

Being a replat of Lot 2, Block A
ELEVON PARKWAY WEST
Vol. 2023, Pg. 925, O.P.R.C.C.T.

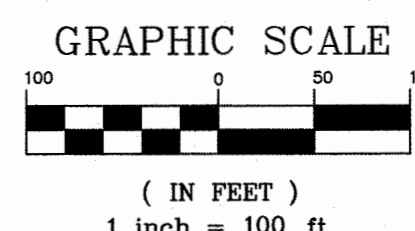
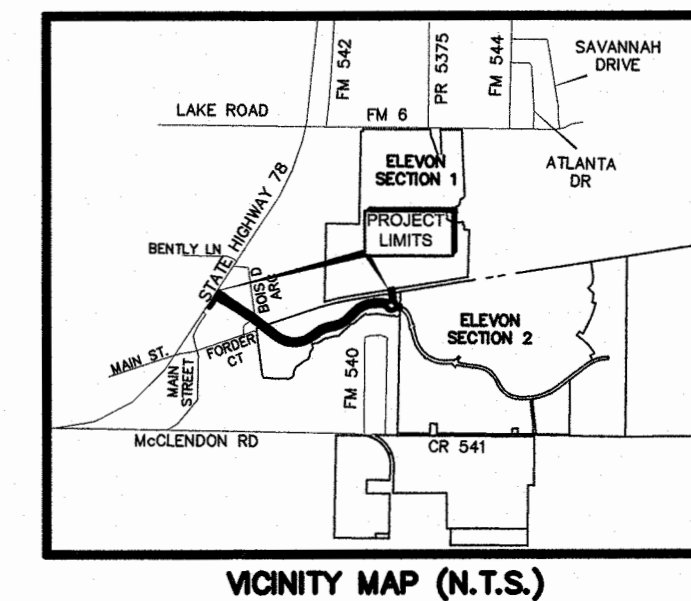
236,206 SQ. FT. / 5.423 ACRES

IN THE
SAMUEL RAINER SURVEY
ABSTRACT NO. 740
AN ADDITION TO
THE CITY OF LAVON,
COLLIN COUNTY, TEXAS

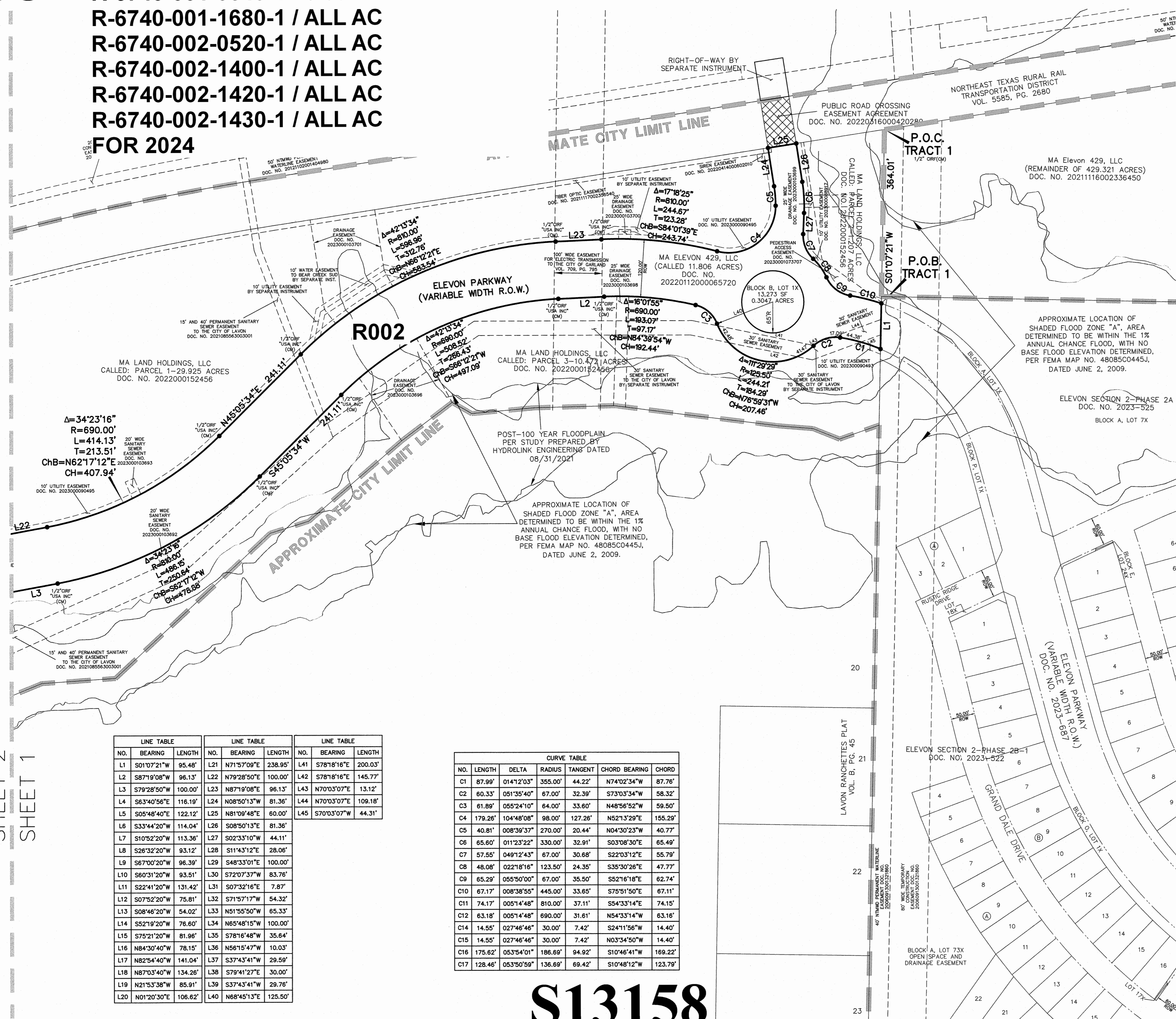
DATE: 04/11/2024 SCALE: 1" = 60'

# 13158

**FROM**  
 R-6740-001-0540-1 / 0.09 AC  
 R-6740-001-1680-1 / ALL AC  
 R-6740-002-0520-1 / ALL AC  
 R-6740-002-1400-1 / ALL AC  
 R-6740-002-1420-1 / ALL AC  
 R-6740-002-1430-1 / ALL AC  
**FOR 2024**



- LEGEND**
- P.O.C. POINT OF COMMENCING
  - P.O.B. POINT OF BEGINNING
  - IPF IRON PIPE FOUND
  - IRF IRON ROD FOUND
  - CIRF CAPPED IRON ROD FOUND
  - CIRS CAPPED IRON ROD SET
  - CM CONTROL MONUMENT
  - ROW RIGHT-OF-WAY
  - AC ACRES
  - UE UTILITY EASEMENT
  - SVE SIGHT VISIBILITY EASEMENT
  - 100 YR POST-FULLY DEVELOPED



- NOTES:**
- FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48085C0445J, DATED JUNE 2, 2009 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, A PORTION OF THIS PROPERTY IS WITHIN SHADED FLOOD ZONE "A", (AREAS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), WITH NO BASE FLOOD ELEVATIONS DETERMINED).
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  - THE SUBJECT TRACT HAS FRONTAGE TO STATE HIGHWAY 78.
  - THE WATER SYSTEM IS OWNED AND OPERATED BY BEAR CREEK SPECIAL UTILITY DISTRICT (BCSUD).

STATE OF TEXAS, COUNTY OF COLLIN  
 I, STACEY KEMP, COUNTY CLERK OF COLLIN COUNTY,  
 DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN  
 MY OFFICE AND DULY RECORDED IN THE PLAT RECORDS  
 OF COLLIN COUNTY ON: 11/17/2023 12:37 PM  
 PLAT BOOK: 2023 PAGE: 925 - 928  
 NUMBER OF PAGES: 4 AMOUNT: \$202.00  
 IN TESTIMONY WHEREOF, WITNESS MY HAND  
 AND OFFICIAL SEAL OF OFFICE,  
 COUNTY CLERK, COLLIN COUNTY, TEXAS



**FINAL PLAT**  
**ELEVON PARKWAY WEST**

4 LOTS  
 BEING 2 TRACTS AND TOTALING 42.557 ACRES OUT OF  
 THE SAMUEL M. RAINER SURVEY, ABSTRACT NO. 740,  
 CITY OF LAVON,  
 COLLIN COUNTY, TEXAS

**MA LAND HOLDINGS, LLC**  
**MA ELEVON 429, LLC** **CURRENT OWNER**  
 2121 Midway Road, Suite 240  
 Carrollton, Texas 75006 (972) 715-6449  
 Contact: John Marlin

**City of Lavon, Texas** **CURRENT OWNER**  
 120 School Road  
 Lavon, Texas 75166 (972) 843-4220

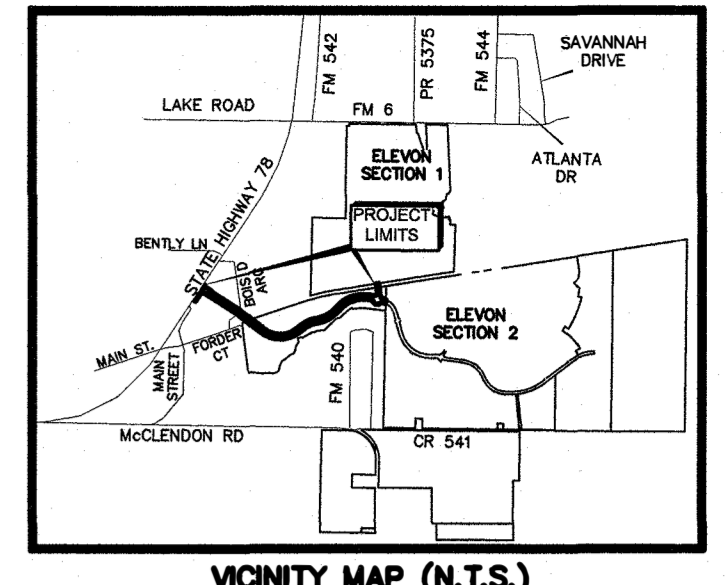
**JB PARTNERS, INC.** **SURVEYOR/ENGINEER**  
 2121 Midway Road, Suite 300  
 Carrollton, Texas 75006 (972) 248-7676  
 TBPE No. F-438 TBPLS No. 10076000

LINE TABLE			LINE TABLE			LINE TABLE		
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L3	S79°28'50"W	100.00'	L23	N87°19'08"E	96.13'	L43	N70°03'07"E	13.12'
L4	S63°40'56"E	116.19'	L24	N08°50'13"W	81.36'	L44	N70°03'07"E	109.18'
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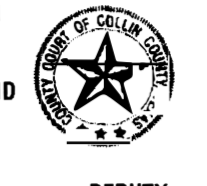
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Drawing: H:\Projects\MA1029-Elevon Section 2\Surveying\dwg\MA1029-ELEVON PARKWAY-WEST-PT.dwg Saved By: dbell Plot Date: 11/2/2023 3:19 PM

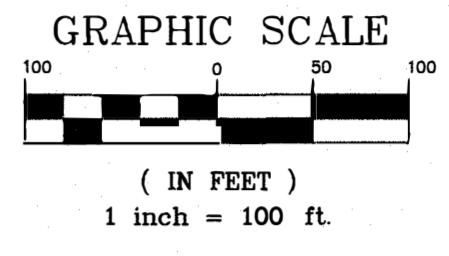


VICINITY MAP (N.T.S.)

STATE OF TEXAS, COUNTY OF COLLIN  
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 DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN  
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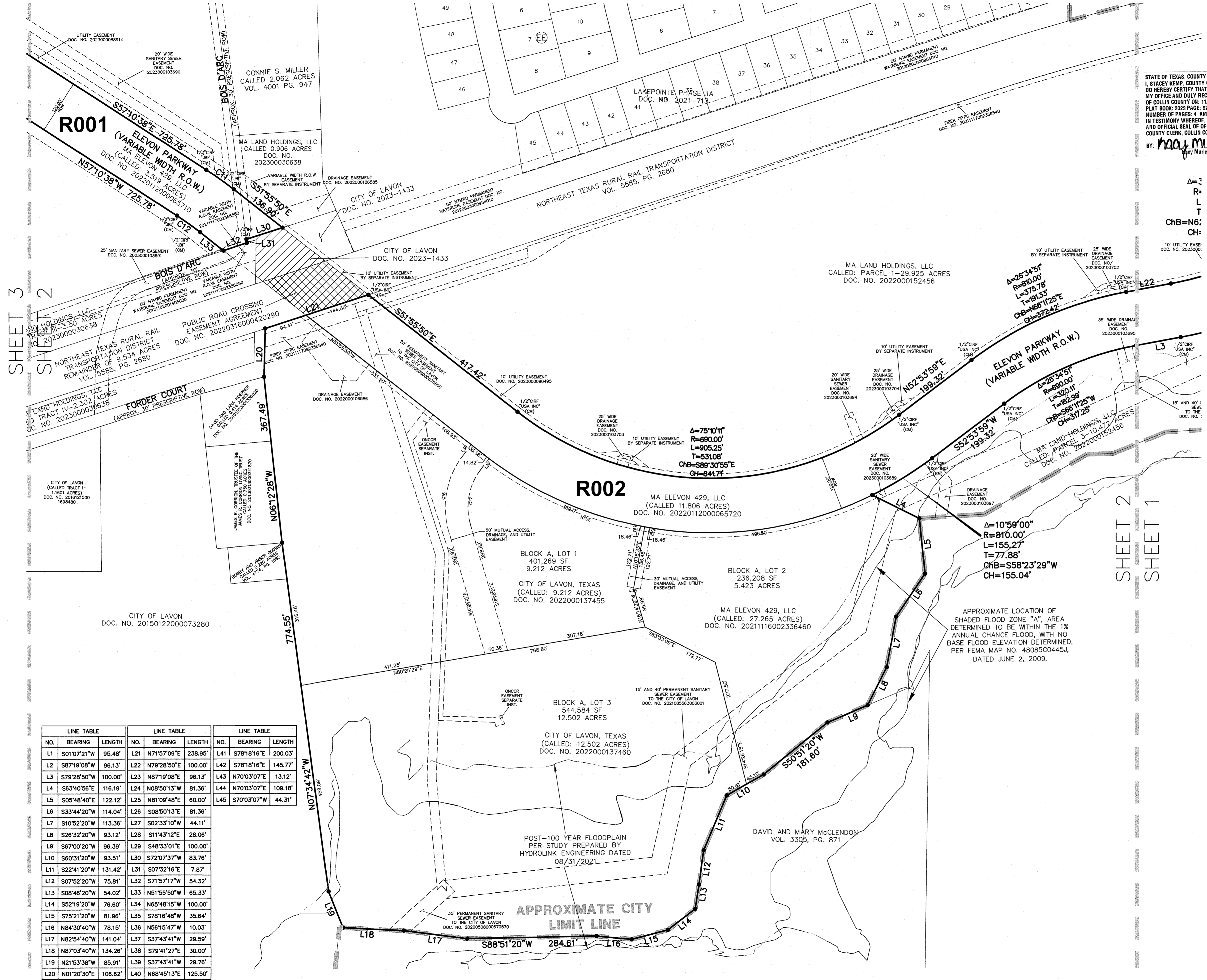
By: *Stacey Kemp* DEPUTY



LEGEND

- P.O.C. POINT OF COMMENCING
- P.O.B. POINT OF BEGINNING
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Δ=3  
 R=  
 L=  
 T=  
 ChB=N6;  
 CH=



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4 LOTS

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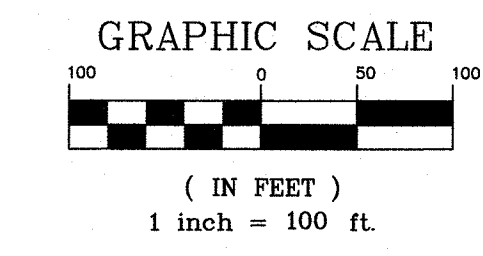
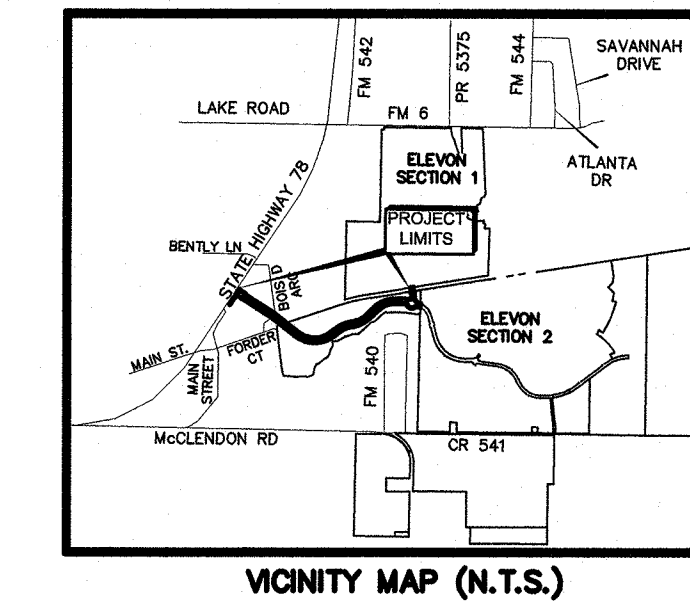
**MA LAND HOLDINGS, LLC**  
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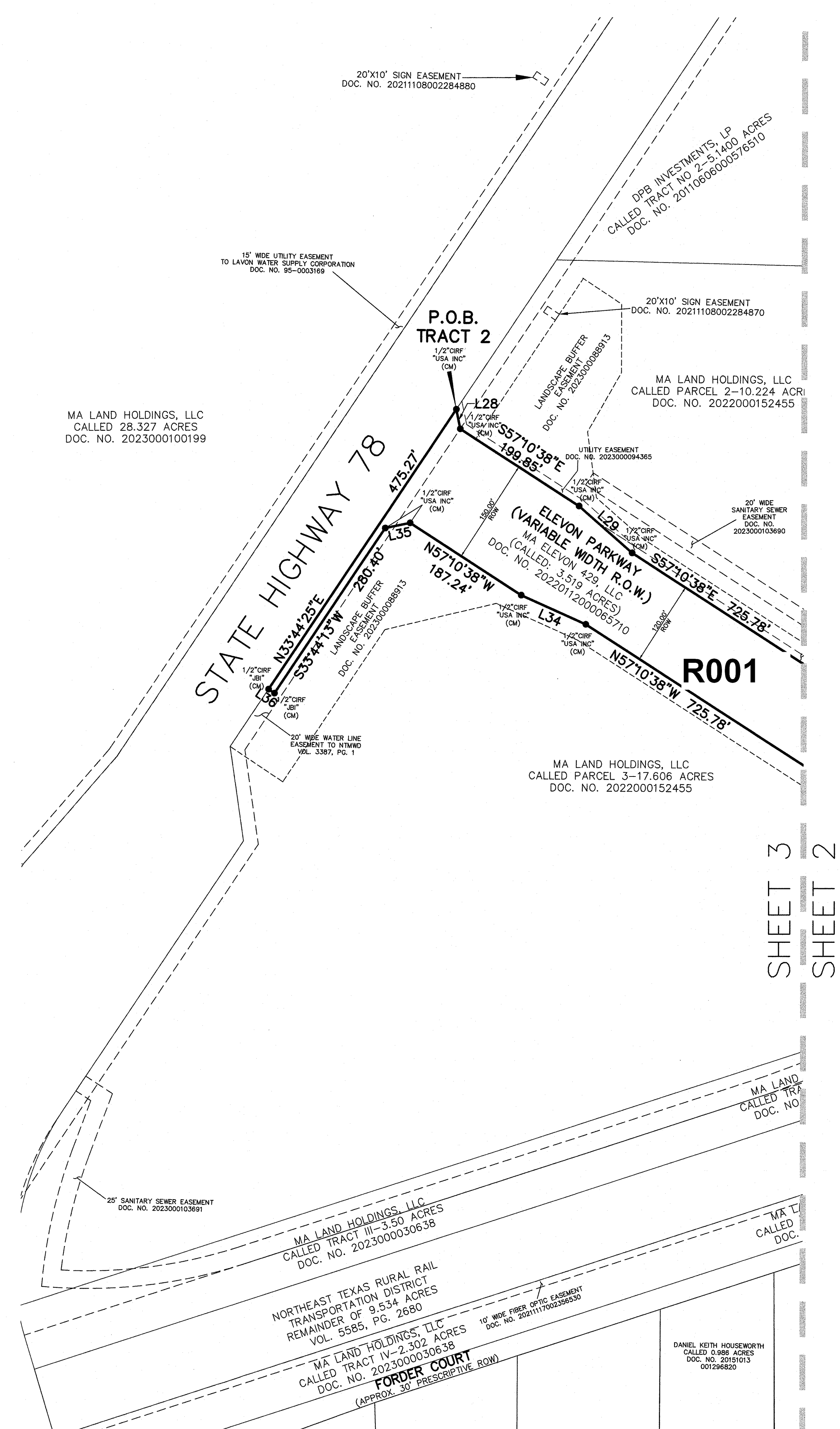
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Drawing: H:\Projects\WAT029-Elevon Parkway-West-P1.dwg Saved By: dbell Plot Date: 11/2/2023 3:19 PM



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**FINAL PLAT**  
**ELEVON PARKWAY WEST**

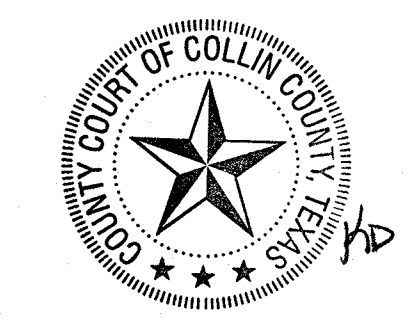
4 LOTS  
BEING 2 TRACTS AND TOTALING 42.557 ACRES OUT OF  
THE SAMUEL M. RAINIER SURVEY, ABSTRACT NO. 740,  
CITY OF LAVON,  
COLLIN COUNTY, TEXAS

**MA LAND HOLDINGS, LLC**  
**MA ELEVON 429, LLC** **CURRENT OWNER**  
2121 Midway Road, Suite 240 (972) 715-6449  
Carrollton, Texas 75006  
Contact: John Marlin

**City of Lavon, Texas** **CURRENT OWNER**  
120 School Road (972) 843-4220  
Lavon, Texas 75166

**JB PARTNERS, INC.** **SURVEYOR/ENGINEER**  
2121 Midway Road, Suite 300 (972) 248-7676  
Carrollton, Texas 75006  
TBPE No. F-438 TBPLS No. 10076000

STATE OF TEXAS, COUNTY OF COLLIN  
I, STACEY KEMP, COUNTY CLERK OF COLLIN COUNTY,  
DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN  
MY OFFICE AND DULY RECORDED IN THE PLAT RECORDS  
OF COLLIN COUNTY ON: 11/17/2023 12:37 PM  
PLAT BOOK: 2023 PAGE: 926 - 928  
NUMBER OF PAGES: 4 AMOUNT: \$202.00  
IN TESTIMONY WHEREOF, WITNESS MY HAND  
AND OFFICIAL SEAL OF OFFICE,  
COUNTY CLERK, COLLIN COUNTY, TEXAS  
BY: *Stacey Kemp* DEPUTY



Drawing: H:\Projects\MA1029-Elevon Section 2\Surveying\dwg\MA1029-ELEVON PARKWAY-WEST-PT.dwg Saved By: dbell Plot Date: 11/2/2023 3:22 PM

LEGAL DESCRIPTION (TRACT 1)

BEING a parcel of land located in Collin County, Texas, a part of the Samuel M. Rainer Survey, Abstract Number 740, and being all of that called 11.806 acre tract of land described in deed to MA Elevation 429, LLC, as recorded in Document Number 20220112000065720, Official Public Records of Collin County, Texas, and being a part of that called 27.265 acre tract of land described in deed to MA Elevation 429, LLC, as recorded in Document Number 2021116002336460, Official Public Records of Collin County, Texas, and being all of that called 9.212 acre tract of land described in deed to City of Lavon, Texas, as recorded in Document Number 2022000137455, Official Public Records of Collin County, Texas, and also being all of that called 12.502 acre tract of land described in deed to City of Lavon, Texas, as recorded in Document Number 2022000137460, Official Public Records of Collin County, Texas and being further described as follows:

COMMENCING at a one-half inch iron rod with cap found at the northwest corner of that called 429.321 acre tract of land described in deed to MA Elevation 429, LLC, as recorded in Document Number 2021116002336450, Official Public Records of Collin County, Texas, said point being the northeast corner of that called Parcel 2-1.207 acre tract of land described in deed to MA LAND HOLDINGS, LLC as recorded in Document Number 2022000152456, Official Public Records of Collin County, Texas;

THENCE South 01 degrees 07 minutes 21 seconds West, 364.01 feet along the common line of said 429.321 acre tract and said 1.207 acre tract to the POINT OF BEGINNING, said point being in the east line of said 11.806 acre tract, said point also being in the north right-of-way line of Elevation Parkway, a variable width right-of-way recorded in Document Number 2023-687, Official Public Records of Collin County, Texas;

THENCE South 01 degrees 07 minutes 21 seconds West, 95.48 feet along the east line of said 11.806 acre tract and along the west right-of-way line of said Elevation Parkway to a one-half inch iron rod with yellow cap stamped "JBI" found for corner at the northeast corner of that called Parcel 3-10.472 acre tract of land described in deed to MA LAND HOLDINGS, LLC, as recorded in Document Number 2022000152456, Official Public Records of Collin County, Texas;

THENCE along the common line of said 11.806 acre tract and said 10.472 acre tract as follows: Northwestly, 87.99 feet along a curve to the left, having a central angle of 14 degrees 12 minutes 03 seconds, a radius of 355.00 feet, a tangent of 44.22 feet, and whose chord bears North 74 degrees 02 minutes 34 seconds West, 87.76 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Southwesterly, 60.33 feet along a curve to the left, having a central angle of 51 degrees 35 minutes 40 seconds, a radius of 67.00 feet, a tangent of 32.39 feet, and whose chord bears South 73 degrees 03 minutes 34 seconds West, 58.32 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Northwesterly, 244.21 feet along a curve to the right, having a central angle of 111 degrees 29 minutes 29 seconds, a radius of 125.50 feet, a tangent of 184.29 feet, and whose chord bears North 76 degrees 59 minutes 31 seconds West, 207.46 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Northwesterly, 61.89 feet along a curve to the left, having a central angle of 55 degrees 24 minutes 10 seconds, a radius of 64.00 feet, a tangent of 33.60 feet, and whose chord bears North 48 degrees 56 minutes 52 seconds West, 59.50 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Northwesterly, 193.07 feet along a curve to the left, having a central angle of 16 degrees 01 minutes 55 seconds, a radius of 690.00 feet, a tangent of 97.17 feet, and whose chord bears North 84 degrees 39 minutes 54 seconds West, 192.44 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

South 87 degrees 19 minutes 08 seconds West, 96.13 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; Southwesterly, 508.52 feet along a curve to the left, having a central angle of 42 degrees 13 minutes 34 seconds, a radius of 690.00 feet, a tangent of 266.43 feet, and whose chord bears South 66 degrees 12 minutes 21 seconds West, 497.09 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

South 45 degrees 05 minutes 34 seconds West, 241.11 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; Southwesterly, 486.15 feet along a curve to the right, having a central angle of 34 degrees 23 minutes 16 seconds, a radius of 810.00 feet, a tangent of 250.64 feet, and whose chord bears South 62 degrees 17 minutes 12 seconds West, 478.88 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

South 79 degrees 28 minutes 50 seconds West, 100.00 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; Southwesterly, 320.11 feet along a curve to the left, having a central angle of 26 degrees 34 minutes 51 seconds, a radius of 690.00 feet, a tangent of 162.99 feet, and whose chord bears South 66 degrees 11 minutes 25 seconds West, 317.25 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

South 52 degrees 53 minutes 59 seconds West, 199.32 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; Southwesterly, 155.27 feet along a curve to the right, having a central angle of 10 degrees 59 minutes 00 seconds, a radius of 810.00 feet, a tangent of 77.88 feet and whose chord bears South 58 degrees 23 minutes 29 seconds West, 155.04 feet to a one-half inch iron rod with yellow cap stamped "JBI" found at the northeast corner of said 27.265 acre tract;

THENCE along the southeasterly line of said 27.265 acre tract and along the approximate centerline of creek meanders as follows: South 63 degrees 40 minutes 56 seconds East, 116.19 feet to a point for corner; South 05 degrees 48 minutes 40 seconds East, 122.12 feet to a point for corner; South 33 degrees 44 minutes 20 seconds West, 114.04 feet to a point for corner; South 10 degrees 52 minutes 20 seconds West, 113.36 feet to a point for corner; South 28 degrees 32 minutes 20 seconds West, 93.12 feet to a point for corner; South 67 degrees 00 minutes 20 seconds West, 96.39 feet to a point for corner; South 50 degrees 51 minutes 20 seconds West, 181.60 feet to a point for corner; South 60 degrees 31 minutes 20 seconds West, 93.51 feet to a point for corner in the south line of said 12.502 acre tract;

THENCE along the south line of said 12.502 acre tract as follows: South 22 degrees 41 minutes 20 seconds West, 131.42 feet to a point for corner; South 07 degrees 52 minutes 20 seconds West, 75.75 feet to a point for corner; South 08 degrees 46 minutes 20 seconds West, 54.02 feet to a point for corner; South 52 degrees 19 minutes 20 seconds West, 76.60 feet to a point for corner; South 75 degrees 21 minutes 20 seconds West, 81.96 feet to a point for corner; North 84 degrees 30 minutes 40 seconds West, 78.15 feet to a point for corner; South 88 degrees 51 minutes 20 seconds West, 284.61 feet to a point for corner; North 82 degrees 54 minutes 40 seconds West, 141.04 feet to a point for corner; North 87 degrees 03 minutes 40 seconds West, 134.26 feet to a point for corner in the southwest corner of said 12.502 acre tract;

THENCE along the west line of said 12.502 acre tract as follows: North 21 degrees 53 minutes 38 seconds West, 65.91 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; North 01 degrees 34 minutes 20 seconds West, 75.75 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; North 06 degrees 12 minutes 28 seconds West, 367.49 feet to a one-half inch iron rod found for corner; North 01 degrees 20 minutes 30 seconds East, 95.01 feet to a one-half inch iron rod with yellow cap stamped "JBI" found for corner at the northwest corner of said 9.212 acre tract said point also being in the south right-of-way line of Northeast Texas Rural Rail Transportation District, as recorded in Volume 5585, Page 2680, Official Public Records of Collin County, Texas;

THENCE North 71 degrees 57 minutes 09 seconds East, 238.95 feet along the south right-of-way line of said Northeast Texas Rural Rail Transportation District to a one-half inch iron rod with cap stamped "USA INC" found for corner in the north line of said 11.806 acre tract, said point being the west corner of that called Parcel 1-29.925 acre tract described in deed to MA LAND HOLDINGS, LLC as recorded 2022000152456, Official Public Records of Collin County, Texas;

THENCE along the common line of said 11.806 acre tract and said 29.925 acre tract as follows: South 51 degrees 55 minutes 50 seconds East, 417.42 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; Southeasterly, 905.25 feet along a curve to the left, having a central angle of 75 degrees 10 minutes 11 seconds, a radius of 690.00 feet, a tangent of 531.08 feet, and whose chord bears South 89 degrees 30 minutes 55 seconds East, 841.71 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

North 52 degrees 53 minutes 59 seconds East, 199.32 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; Northwesterly, 375.78 feet along a curve to the right, having a central angle of 26 degrees 34 minutes 51 seconds, a radius of 810.00 feet, a tangent of 191.33 feet, and whose chord bears North 66 degrees 11 minutes 25 seconds East, 372.42 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

North 79 degrees 28 minutes 50 seconds East, 100.00 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; Northwesterly, 414.13 feet along a curve to the left, having a central angle of 34 degrees 23 minutes 16 seconds, a radius of 810.00 feet, a tangent of 213.51 feet, and whose chord bears North 62 degrees 17 minutes 12 seconds East, 407.94 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

North 45 degrees 05 minutes 34 seconds East, 241.11 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; Northwesterly, 596.98 feet along a curve to the right, having a central angle of 42 degrees 13 minutes 34 seconds, a radius of 810.00 feet, a tangent of 312.76 feet, and whose chord bears North 66 degrees 12 minutes 21 seconds East, 583.54 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner;

North 87 degrees 19 minutes 08 seconds East 96.13 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; Southeasterly, 244.67 feet along a curve to the right, having a central angle of 17 degrees 18 minutes 25 seconds, a radius of 810.00 feet, a tangent of 123.28 feet, and whose chord bears South 84 degrees 01 minutes 39 seconds East, 243.74 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Northwesterly, 179.26 feet along a curve to the left, having a central angle of 104 degrees 48 minutes 08 seconds, a radius of 98.00 feet, a tangent of 127.28 feet, and whose chord bears North 52 degrees 13 minutes 29 seconds East, 155.29 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Northwesterly, 40.81 feet along a curve to the left, having a central angle of 08 degrees 39 minutes 37 seconds, a radius of 270.00 feet, a tangent of 20.44 feet, and whose chord bears North 04 degrees 30 minutes 23 seconds West, 40.77 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 08 degrees 50 minutes 13 seconds West, 81.36 feet to a one-half inch iron rod with yellow cap stamped "JBI" found at the northeast corner of said 229.925 acre tract, said point being in the south right-of-way line of said Northeast Texas Rural Rail Transportation District;

THENCE North 81 degrees 09 minutes 48 seconds East, 60.00 feet along the common line of said 11.806 acre tract and south right-of-way line of said Northeast Texas Rural Rail Transportation District to a one-half inch iron rod with yellow cap stamped "JBI" found for corner at the northwest corner of said 1.207 acre tract;

THENCE along the common line of said 11.806 acre tract and said 1.207 acre tract as follows: South 08 degrees 50 minutes 13 seconds East, 81.36 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; Southeasterly, 65.60 feet along a curve to the right, having a central angle of 11 degrees 23 minutes 22 seconds, a radius of 330.00 feet, a tangent of 32.91 feet, and whose chord bears South 03 degrees 08 minutes 30 seconds East, 65.49 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

South 02 degrees 33 minutes 10 seconds West, 44.11 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; Southeasterly, 57.55 feet along a curve to the left, having a central angle of 49 degrees 12 minutes 43 seconds, a radius of 67.00 feet, a tangent of 30.68 feet, and whose chord bears South 22 degrees 03 minutes 12 seconds East, 55.79 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Southeasterly, 48.08 feet along a curve to the right, having a central angle of 22 degrees 18 minutes 16 seconds, a radius of 123.50 feet, a tangent of 24.35 and whose chord bears South 35 degrees 30 minutes 28 seconds East, 47.77 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; Southeasterly, 65.29 feet along a curve to the left, having a central angle of 55 degrees 50 minutes 00 seconds, a radius of 67.00 feet, a tangent of 35.50 feet, and whose chord bears South 52 degrees 16 minutes 18 seconds East, 62.74 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

Southeasterly, 67.17 feet along a curve to the right, having a central angle of 08 degrees 38 minutes 55 seconds, a radius of 445.00 feet, a tangent of 33.65 feet, and whose chord bears South 75 degrees 51 minutes 50 seconds East, 67.11 feet to the POINT OF BEGINNING and containing 1,696,355 square feet or 38.943 acres of land.

LEGAL DESCRIPTION (TRACT 2)

BEING a parcel of land located in Collin County, Texas, a part of the Samuel M. Rainer Survey, Abstract Number 740, and being all of that called 3.519 acre tract of land described in deed to MA Elevation 429, LLC, as recorded in Document Number 20220112000065710, Official Public Records of Collin County, Texas, and being a part of that called 0.906 acre tract of land described in deed to MA LAND HOLDINGS, LLC, as recorded in Document Number 202300030638, Official Public Records of Collin County, Texas, and being further described as follows:

BEGINNING at a one-half inch iron rod with cap stamped "USA INC" found in the north corner of said 3.519 acre tract of land, said point also being in the east right-of-way line of State Highway 78, a variable width right-of-way, said point being at the west corner of that called Parcel 2-10.224 acre tract of land described in deed to MA LAND HOLDINGS, LLC as recorded in Document Number 2022000152455, Official Public Records of Collin County, Texas;

THENCE along the common line of said 3.519 acre tract and said 10.224 acre tract as follows: South 11 degrees 43 minutes 12 seconds East, 28.06 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; South 57 degrees 38 seconds East, 199.85 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; South 48 degrees 33 minutes 01 seconds East, 100.00 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; South 57 degrees 10 minutes 38 seconds East, 725.78 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner; Southeasterly, 74.17 feet along a curve to the right, having a central angle of 05 degrees 14 minutes 48 seconds, a radius of 810.00 feet, a tangent of 37.11 feet, South 54 degrees 33 minutes 14 seconds East, 74.15 feet to a one-half inch iron rod with yellow cap stamped "JBI" found for corner; South 51 degrees 55 minutes 50 seconds East, 136.90 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the south line of said 0.906 acre tract of land;

THENCE South 72 degrees 07 minutes 37 seconds West, 83.76 feet to a one-half inch iron rod found at the southwest corner of said 0.906 acre tract of land, said point being in the east line of said 3.519 acre tract;

THENCE South 07 degrees 32 minutes 16 seconds East, 7.87 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the southeast corner of said 3.519 acre tract, said point being in the north line that called Tract III-3.50 acre tract of land described in deed to MA LAND HOLDINGS, LLC, as recorded in Document Number 202300030638, Official Public Records of Collin County, Texas;

THENCE South 71 degrees 57 minutes 17 seconds West, 54.32 feet along the north line of said 3.50 acre tract to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the east corner of that called Parcel 3-17.606 acre tract of land described in deed to MA LAND HOLDINGS, LLC as recorded in Document Number 2022000152455, Official Public Records of Collin County, Texas;

THENCE along the common line of said 3.519 acre tract and said 17.606 acre tract as follows: North 51 degrees 55 minutes 50 seconds West, 65.33 feet along to a one-half inch iron rod with yellow cap stamped "JBI" found for corner; Northwesterly, 63.18 feet along a curve to the left, having a central angle of 05 degrees 14 minutes 48 seconds, a radius of 690.00 feet, a tangent of 31.61 feet, and whose chord bears North 54 degrees 33 minutes 14 seconds West, 63.16 feet to a one-half inch iron rod with yellow cap stamped "JBI" found for corner;

North 57 degrees 10 minutes 38 seconds West, 725.78 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; North 65 degrees 48 minutes 15 seconds West, 100.00 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; North 57 degrees 10 minutes 38 seconds West, 187.24 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; South 78 degrees 16 minutes 48 seconds, 35.64 feet to a one-half inch iron rod with cap stamped "USA INC" found for corner; South 33 degrees 44 minutes 13 seconds West, 280.40 feet to a one-half inch iron rod with yellow cap stamped "JBI" found for corner;

North 56 degrees 15 minutes 47 seconds West, 10.03 feet to a one-half inch iron rod with yellow cap stamped "JBI" found in the said east right-of-way line; North 33 degrees 44 minutes 25 seconds East, 475.27 feet to the POINT OF BEGINNING and containing 157,426 square feet or 3.614 acres of land.

BASIS OF BEARING: The basis of bearing is based on the coordinate system (North Central Zone 4202 State Plane Coordinates, NAD83), distances shown hereon are grid distance values.

DEDICATION STATEMENT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS;

That MA LAND HOLDINGS, LLC, MA Elevation 429, LLC, and City of Lavon, Texas acting herein by and through its duly-authorized officers, does hereby adopt this plat designating the herein above described property as ELEVON PARKWAY WEST, an addition to the City of Lavon, Collin County, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys, and public use areas shown hereon, and does hereby dedicate the easements shown on the plat for the purposes indicated to the public use forever, said dedications being free and clear of all liens and encumbrances, except as shown herein. No buildings, fences, trees, shrubs, or other improvements shall be constructed or placed upon, over, or across the easements on said plat. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to a particular utility or utilities, said use by public utilities being subordinate to the public's and City of Lavon use thereof. The City of Lavon and any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easements and the City of Lavon or any public utility shall at all times have the right of ingress and egress to and from and upon any of said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone.

All utility easements dedicated by this plat shall also include an additional area of working space for construction, reconstruction, additions, enlargements, and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb of or pavement line.

- 1. All water system is owned and operated by Bear Creek Special Utility District (BCSUD) and all construction related to water service shall be done per BCSUD's specifications and general notes.
2. The easements and public use areas, as shown are dedicated for the public use, including specifically for the City of Lavon, or BCSUD, forever for purposes indicated on this plat.
3. The City of Lavon and BCSUD are not responsible for replacing any improvements in, under or over any easements caused by maintenance or repair.
4. Utility easements may also be used for the mutual and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities as being subordinate to the public, City of Lavon and BCSUD.
5. The City of Lavon, BCSUD, and public utilities shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with construction, maintenance, or efficiency of their respective systems in the easements.
6. City of Lavon, BCSUD, and public utilities shall at all times have the full right of ingress and egress to and from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, respective systems without the necessity at any time of procuring permission from anyone.
7. All modifications to this document shall be by means of plat and approved by the City of Lavon unless said modifications pertain to BCSUD facilities, at which time BCSUD shall also review and approve.

MA LAND HOLDINGS, LLC and MA Elevation 429, LLC, does hereby bind itself, its successors and assigns to forever warrant and defend, all and singular, the above-described streets, alleys, easements and rights unto the public, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

This plat approved subject to all plotting ordinances, rules, regulations and resolutions of the City of Lavon.

WITNESS MY HAND THIS 3rd DAY OF November, 2023.

MA LAND HOLDINGS, LLC, a Texas limited liability company

By: MA Partners, LLC a Texas Limited Liability Company, its sole manager

MA Elevation 429, LLC a Texas limited liability company

By: MA Partners, LLC a Texas Limited Liability Company, its sole manager

By: [Signature]

Name: Allen Jones

Title: Manager

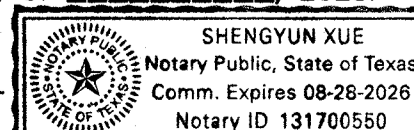
STATE OF TEXAS §

COUNTY OF DALLAS §

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared Allen Jones, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated..

Given under my hand and seal of office, this 3rd day of November, 2023.

[Signature] Notary Signature



City of Lavon, Texas, does hereby bind itself, its successors and assigns to forever warrant and defend, all and singular, the above-described streets, alleys, easements and rights unto the public, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

This plat approved subject to all plotting ordinances, rules, regulations and resolutions of the City of Lavon.

WITNESS MY HAND THIS 6th DAY OF November, 2023.

City of Lavon, Texas

By: Vicki Sanson Mayor

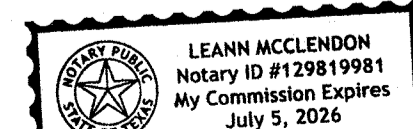
STATE OF TEXAS §

COUNTY OF COLLIN §

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared Vicki Sanson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated..

Given under my hand and seal of office, this 6th day of November, 2023.

[Signature] Notary Signature



SURVEYOR'S CERTIFICATE §

KNOW ALL MEN BY THESE PRESENTS:

That I, Mark W. Harp, RPLS, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Lavon.

Dated this the 2nd day of November, 2023.

[Signature] Mark W. Harp, R.P.L.S. No. 6425



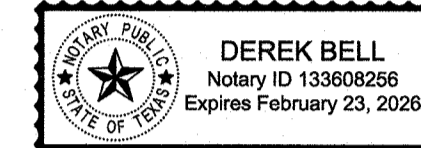
STATE OF TEXAS §

COUNTY OF DALLAS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Mark W. Harp, Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office this 2nd day of November, 2023.

[Signature] Notary Public in and for the State of Texas



Recommended for Approval: [Signature]

Date: 8/23/2022

Chairman, Planning and Zoning Commission

City of Lavon, Texas

Approved for Construction: [Signature]

Date: 9/16/2022

Mayor, City of Lavon, Texas

Accepted: [Signature]

Date: 11/17/2023

Mayor, City of Lavon, Texas

This plat correctly presents the required easements and certifications required by Bear Creek Special Utility District for this development.

BEAR CREEK SPECIAL UTILITY DISTRICT

NAME/TITLE: Camille Reagan, General Manager

Date: November 17, 2023



The undersigned, the city secretary of the City of Lavon, Texas, hereby certifies that the foregoing final plat of the Elevation Parkway West subdivision or addition to the City of Lavon was submitted to the city council on the 7th day of November, 2023 and the council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat and said council further authorized the mayor to note the acceptance thereof by signing his or her name as here in above subscribed.

Witness my hand this 8th day of November, AD, 2023.

[Signature]

City Secretary, City of Lavon, Texas

STATE OF TEXAS, COUNTY OF COLLIN §, STACEY KEMP, COUNTY CLERK OF COLLIN COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE AND DULY RECORDED IN THE PLAT RECORDS OF COLLIN COUNTY ON: 11/17/2023 12:37 PM PLAT BOOK: 2023 PAGE: 926 - 928 NUMBER OF PAGES: 4 AMOUNT: \$202.00 IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, COUNTY CLERK, COLLIN COUNTY, TEXAS

BY: [Signature] DEPUTY

FINAL PLAT ELEVON PARKWAY WEST

4 LOTS

BEING 2 TRACTS AND TOTALING 42.557 ACRES OUT OF THE SAMUEL M. RAINER SURVEY, ABSTRACT NO. 740,

CITY OF LAVON, COLLIN COUNTY, TEXAS

MA LAND HOLDINGS, LLC MA ELEVON 429, LLC CURRENT OWNER

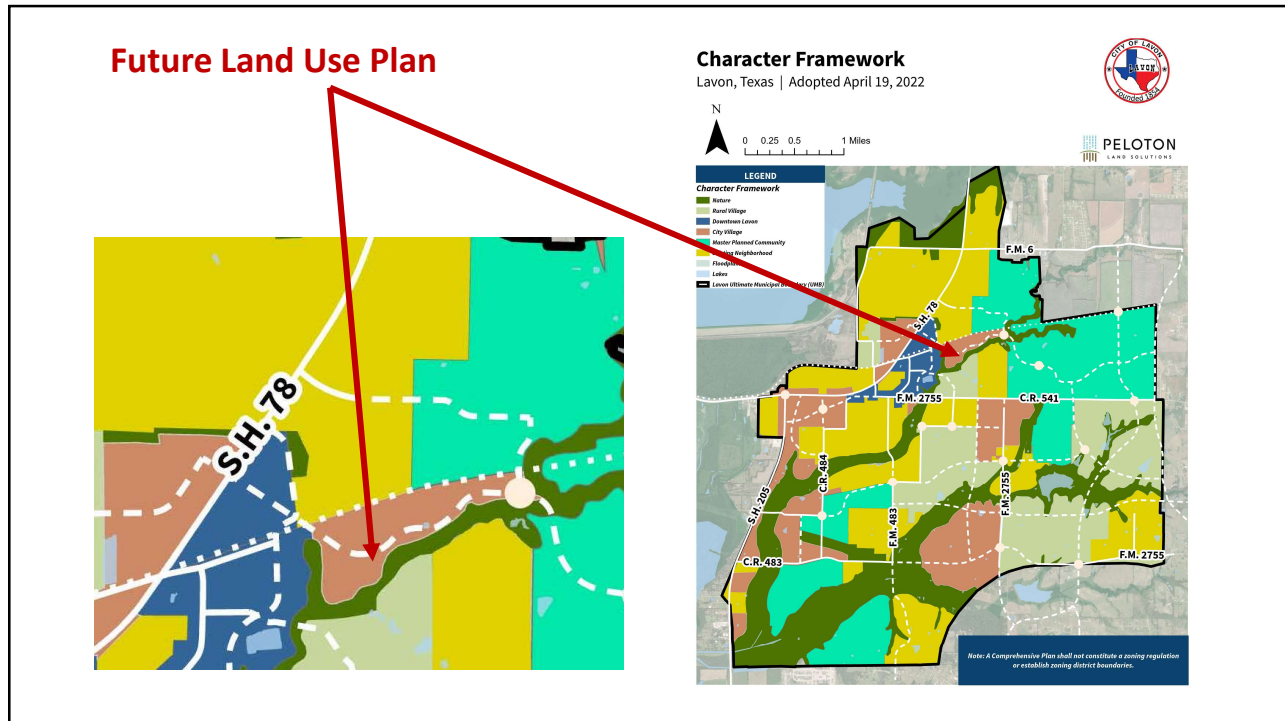
2121 Midway Road, Suite 240 Carrollton, Texas 75006 (972) 715-6449 Contact: John Marlin

City of Lavon, Texas CURRENT OWNER

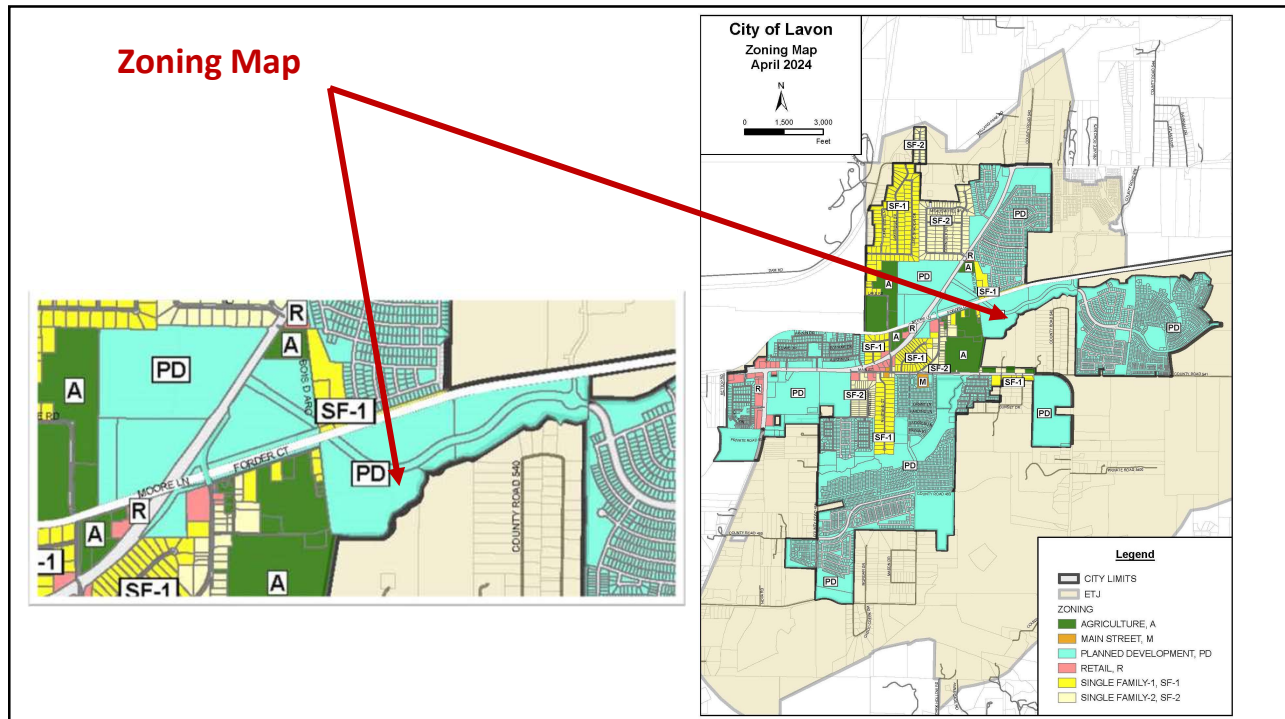
120 School Road Lavon, Texas 75166 (972) 843-4220

JB PARTNERS, INC. SURVEYOR/ENGINEER

2121 Midway Road, Suite 300 Carrollton, Texas 75006 (

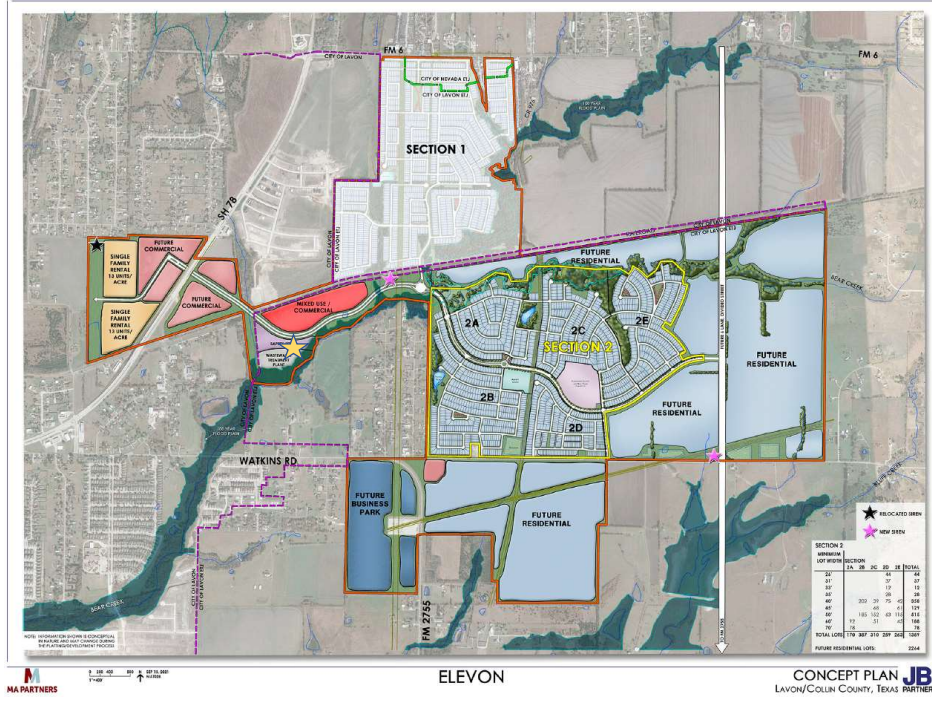


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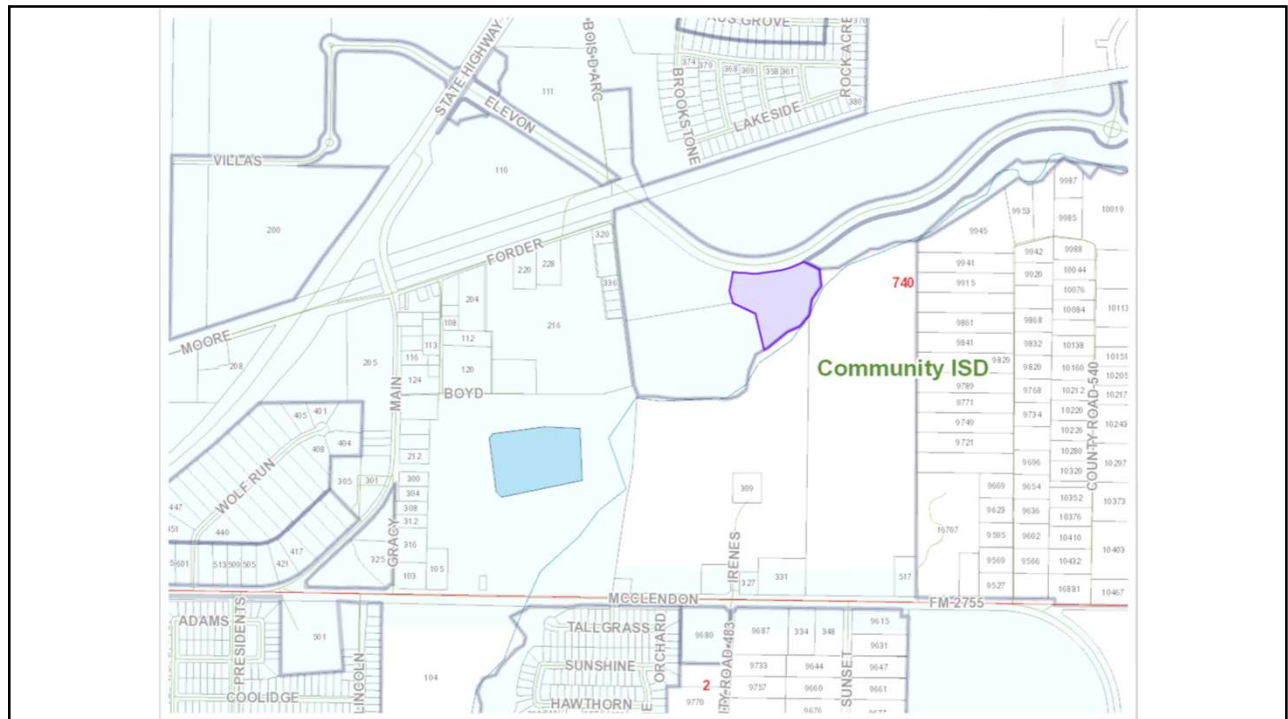


5

# Elevon Development Plan



6



7

May 8, 2024

Kim Dobbs  
City of Lavon, TX  
Via Email Delivery to [kdobbs@lavontx.gov](mailto:kdobbs@lavontx.gov)

Re: Elevon Parkway West, Lots 2R and 4, Block A  
Replat Review  
LJA Job No. NTP-40467  
Email Submittal: May 6, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request.

**We have no further comments and recommend approval.**

Please do not hesitate to let us know if you have any questions.

Thanks,



Tiffany McLeod, AICP, EIT  
Project Manager, Placemaking + Resilience at LJA  
Email: [tmcleod@lja.com](mailto:tmcleod@lja.com)  
Phone: 469.348.6571  
On behalf of the City of Lavon, TX

May 2, 2024

Ms. Kim Dobbs  
City of Lavon  
120 School Road  
Lavon, TX 75166

Re: Elevon Section 2, Elevon Parkway West, 2 Tracts, 5.423 Acres  
Replat

Dear Ms. Dobbs:

As requested, we have reviewed the Replat dated April 11, 2024, as prepared by North Texas Surveying, LLC for the above referenced property. Engineering Plans have not been provided for review. Comments are based upon the Development Agreement (Resolution 2021-09-07) for the Elevon development. City Planning has provided comments. Our comments are as follows:

GENERAL

1. The purpose of this Replat is to divide Lot 2, Block A into 2 lots.

REPLAT

2. No Comments.

This concludes our review of the above referenced Replat. **We recommend APPROVAL of the Replat, subject to addressing City Planning comments.**

The review conducted by FMI was for the limited purpose of code and ordinance compliance review for the exclusive benefit of the City of Lavon.

If there are any questions, please contact me at 214-503-0555 x115 or by email at [mdhill@fmi-dallas.com](mailto:mdhill@fmi-dallas.com).

Sincerely,  
FREEMAN-MILLICAN, INC.



Mark D. Hill, P.E.  
Consulting City Engineer

Cc: David Carter, Mike Jones, Danny Anthony

F:\17024 - LAV General Servies\9 - Review\Elevon\Section 2\Elevon Parkway West\Replat - Blk A Lot 2\Elevon Parkway West - Replat 2R & 4 - Rev 0.docx

# Kimley»»Horn

May 06, 2024

Kim Dobbs  
City Manager  
City of Lavon  
120 School Rd  
Lavon, TX 75166

RE: Elevon Parkway West Re-Plat – MyGov #24-000818  
KHA No. 064572849

Kim:

Please see responses to your review comments below.

1. Revise the plat to add a ghosted label on the current Lot 2 that includes the lot, block and recordation information.  
**This label has been added to the plat.**
2. Revise the plat title block to reference “Being a Replat of Lot 2, Block A of the Elevon Parkway West Addition.”  
**The plat title block has been revised to include this reference.**
3. Although the filed plat for the subject property references a filed easement titled “15’ and 40’ Permanent Sanitary Sewer Easement,” please clarify the limits of each easement through revised labeling and/or linework if applicable.  
**The portion of this filed easement which is encumbered by this re-plat only contains the 40’ portion of the easement. As such, there is not a 15’ section to label or clarify on this re-plat.**

Please let us know if you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Joseph E. Helmberger, P.E.

May 1, 2024

Kim Dobbs  
City of Lavon, TX  
Via Email Delivery to [kdobbs@lavontx.gov](mailto:kdobbs@lavontx.gov)

Re: Elevon Parkway West, Lots 2R and 4, Block A  
Replat Review  
LJA Job No. NTP-40467  
MyGov Submittal: April 18, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. We **recommend approval with the following conditions:**

1. Revise the plat to add a ghosted label on the current Lot 2 that includes the lot, block and recordation information.
2. Revise the plat title block to reference "Being a Replat of Lot 2, Block A of the Elevon Parkway West Addition."
3. Although the filed plat for the subject property references a filed easement titled "15' and 40' Permanent Sanitary Sewer Easement," please clarify the limits of each easement through revised labeling and/or linework if applicable.

Thanks,



Tiffany McLeod, AICP, EIT  
Project Manager, Placemaking + Resilience at LJA  
Email: [tmcleod@lja.com](mailto:tmcleod@lja.com)  
Phone: 469.348.6571  
On behalf of the City of Lavon, TX



# CITY OF LAVON

## Agenda Brief

MEETING: June 4, 2024

ITEM: 6 – D

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**Item:**

CONSENT AGENDA

Approve the replat of the Trails of Lavon Phase 2A Addition, Block F, Lot 73 to revise the dimensions of Block F, Lot 73, create a common area tract, and dedicate right of way along CR 484 northeast of the intersection of CR 484 and CR 483, south of the power line easement, City of Lavon, Collin County, TX (CCAD Property ID 1249928), subject to final planning and engineering review and approval.

### Application Information

- Owner(s):** Meritage Homes of Texas, LLC
- Applicant:** Kimley-Horn
- Location:** Northeast of the intersection of CR 484 and CR 483, south of the power line easement
- Description:** Trails of Lavon Ph 2A, Block F, Lot 73, City of Lavon, Collin County, Texas  
CCAD Property ID 1249928
- Current Zoning:** Planned Development
- Request:** Replat to revise lot dimensions, add a common area tract, and dedicate right of way

### Request Details

On June 7, 2022, the final plat of the Trails of Lavon Phase 2A Addition was approved and was accepted on March 19, 2024. The applicant is seeking approval of a replat of Block F, Lot 73, labeled as Bear Creek SUD Lot, to revise the dimensions of Block F, Lot 73, to create a common area tract from remainder property created by the revised dimensions, and to dedicate right of way along CR 484. The Common Area tract will be incorporated into the commercial area as identified in the project concept plan.

The proposed replat revises the dimensions of Block F, Lot 73 with Lot 73R being 55,232 square feet in area. The remainder of Lot 73 becomes Block F, Common Area 1, being 8,986 square feet in area. Because Lot 73R has additional frontage adjacent to CR 484, additional right of way is appropriately and proportionately dedicated. The applicant advised that as shown on the zoning concept plan, Lot 73R is scheduled for the development of an elevated water storage facility.

The proposed replat conforms to the requirements provided in Ordinance No. 2021-10-04 that established the Planned Development zoning for the property.

**Code Excerpt:**

**TEXAS LOCAL GOVERNMENT CODE  
§ 212.014 REPLATTING WITHOUT VACATING PRECEDING PLAT**

A replat of a subdivision or part of a subdivision may be recorded and is controlling over the preceding plat without vacation of that plat if the replat:

- (1) is signed and acknowledged by only the owners of the property being replatted;
- (2) is approved by the municipal authority responsible for approving plats; and
- (3) does not attempt to amend or remove any covenants or restrictions.

**Planning and Zoning Commission Report:**

**MOTION: RECOMMEND APPROVAL OF THE REPLAT OF THE TRAILS OF LAVON PHASE 2A ADDITION, BLOCK F, LOT 73 TO REVISE THE DIMENSIONS OF BLOCK F, LOT 73, CREATE A COMMON AREA TRACT AND DEDICATE RIGHT OF WAY ALONG CR 484 NORTHEAST OF THE INTERSECTION OF CR 484 AND CR 483, SOUTH OF THE POWER LINE EASEMENT, CITY OF LAVON, COLLIN COUNTY, TX. SUBJECT TO FINAL PLANNING AND ENGINEERING APPROVAL**

MOTION MADE: COX  
SECONDED: TIEGS  
APPROVED: UNANIMOUS (Absent: Nabors, Jacob)

**Staff Notes:**

The proposed replat has been reviewed by staff. The replat appears to meet the technical requirements of and complies with the subdivision regulations.

Approval is recommended subject to final planning and engineering review and approval.

- Attachments:**
1. Application and Replat
  2. Location Exhibits
  3. Planning and Engineering Correspondence



May 23, 2024

Ms. Kim Dobbs  
City Administrator  
City of Lavon  
120 School Road  
Lavon, TX 75166

**RE: *Trails of Lavon, Phase 2A – Re-Plat Submittal***

Dear Ms. Dobbs:

Attached to this letter, please find the Re-Plat Submittal package for the subject project. The purpose of the proposed Re-Plat is to revise the dimensions of Block F, Lot 73, create a common area lot from area previously included within Block F, Lot 73, and to dedicate additional right-of-way along the frontage CR 484 due to the revised dimension of Block F, Lot 73. The common area lot being created will ultimately be a part of the future Commercial Tract.

No additional civil improvements are proposed or required by the proposed re-plat. As such, no civil plans are included in the submittal package.

Thank you for your help with this project. Please contact me at (469) 914-8720 or [bryan.moody@kimley-horn.com](mailto:bryan.moody@kimley-horn.com) should you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bryan Moody".

Bryan Moody, P.E.



# CITY OF LAVON

P.O. Box 340, School Rd. Lavon, TX 75166  
Office 972-843-4220 – Inspection 972-853-0855

## PLAT APPLICATION

*Incomplete applications will not be accepted.*

<b>Company Making Submission</b>		<b>Property Owner</b>	
Name: <u>Kimley-Horn</u>		Name: <u>Meritage Homes of Texas, LLC</u>	
Address: <u>13455 Noel Road, Two Galleria Office Tower, Suite 700</u>		Address: <u>8840 Cypress Waters Blvd, Suite 100</u>	
City/State/Zip: <u>Dallas, TX 75240</u>		City/State/Zip: <u>Dallas, TX 76092</u>	
Phone #: <u>972-770-1300</u>	Fax #: _____	Phone #: <u>972-580-6300</u>	Fax #: _____
Authorized Person: <u>Bryan Moody</u>		Authorized Person: <u>Steven Cook</u>	
<b>Type of Submission</b>		<b>Check List of Items Submitted</b>	
<input type="checkbox"/> Preliminary Plat		<input type="checkbox"/> (two) full size sets of plats (24x36)	
<input type="checkbox"/> Final Plat		<input type="checkbox"/> (two) full size construction sets (24x36)	
<input type="checkbox"/> Re-Submittal		<input type="checkbox"/> (one) half size sets of plats (11x17)	
<input type="checkbox"/> Construction Plans		<input type="checkbox"/> (ten) half size sets of plats with final submission (11x17)	
<input checked="" type="checkbox"/> Other <u>Re-Plat</u>		<input type="checkbox"/> (one) PDF plats (on separate CD's)	
		<input type="checkbox"/> (one) PDF construction plans (can be included on plat CD)	
<b>Pricing</b>			
Preliminary Plat: C* D*	Per Fee Schedule		
Final Plat: C* D*	Per Fee Schedule		
Re-Plat: C* D*	Per Fee Schedule		
Public Infrastructure Inspection	Per Fee Schedule		
C* Costs shall include the actual costs to the City plus a 10 percent administrative fee. These fees shall be in addition to the permit fee required.			
D* To complete the plat please sign up as a collaborator in the MyGov system <a href="https://public.mv.gov.us/lavon_tx">https://public.mv.gov.us/lavon_tx</a> request access to the City of Lavon. Make a new request for the plat and download these forms along with plans.			
<b>NOTICE TO APPLICANT:</b> Any approval will be issued based on the information furnished in this application and on any submitted plats. It is subject to the provisions and requirements of the City of Lavon Code of Ordinances and any other applicable ordinances of the City, regardless of information and/or plans submitted.			
Authorized Representative (Printed Name) <u>Bryan Moody</u>	Authorized Representative (Signature) 		Date: <u>5/23/2024</u>
<b>To be completed by the City</b>			
<b>In Takers Name:</b>			
In takers Review Date:	PW Review Date:	COO Review Date:	Engineer Review Date:
<input type="checkbox"/> Accepted <input type="checkbox"/> Rejected	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected
			P&Z Review Date:
			<input type="checkbox"/> Approved <input type="checkbox"/> Rejected
			Council Action Date:
			<input type="checkbox"/> Approved <input type="checkbox"/> Rejected
Comments:			



**CITY OF LAVON**

P.O. Box 340 - 120 School Rd. - Lavon, TX 75166  
Office 972-843-4220 - Fax 972-843-0397 - Inspection 972-853-0855  
Email: [leann.mccleendon@cityoflavon.org](mailto:leann.mccleendon@cityoflavon.org)

**PLAT APPLICATION**

Please type or print clearly. Incomplete applications will not be accepted.

**Declaration of Ownership**

Date: 5/23/2024

To the City of Lavon  
Collin County, Texas

This letter will serve as notice that I/we, Meritage Homes of Texas, LLC, am/are the owner (s) of record of the property described in the attached survey documentation, submitted with this form, for the purpose of any future proposed request (s) relating to this property.

Steven Cook  
Signature (Owner)

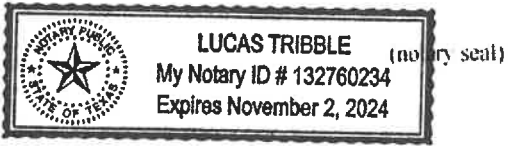
\_\_\_\_\_  
Signature (Owner)

\_\_\_\_\_  
Signature (Owner)

The State of Texas  
County of Dallas

Before me, the undersigned authority, appeared Steven Cook,  
on this the 23<sup>rd</sup> day of May, 2024.

Lucas Tribble  
\_\_\_\_\_  
Notary Public



Notary Public in and for Dallas County, Texas



**CITY OF LAVON**

P.O. Box 340 - 120 School Rd. - Lavon, TX 75166  
Office 972-843-4220 - Fax 972-843-0397 - Inspection 972-853-0855  
Email: [leann.mcclendon@cityoflavon.org](mailto:leann.mcclendon@cityoflavon.org)

**PLAT APPLICATION**

Please type or print clearly. Incomplete applications will not be accepted.

**Authorization of Representation**

Date: 5/23/2024

To the City of Lavon  
Collin County, Texas

This letter will serve as notice that I/we, Meritage Homes of Texas, LLC, am/are the owner (s) of record of the property described in the attached survey documentation, submitted with this form, and do hereby authorize Kimley-Horn to represent me (us) and my (our) interests in the property described in the attached exhibits (s) for the expressed purpose of this request.

*Steven Cook*  
Signature (Owner)

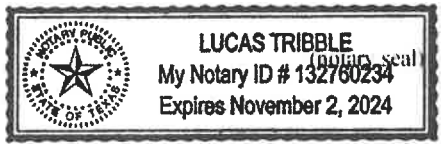
\_\_\_\_\_  
Signature (Owner)

\_\_\_\_\_  
Signature (Owner)

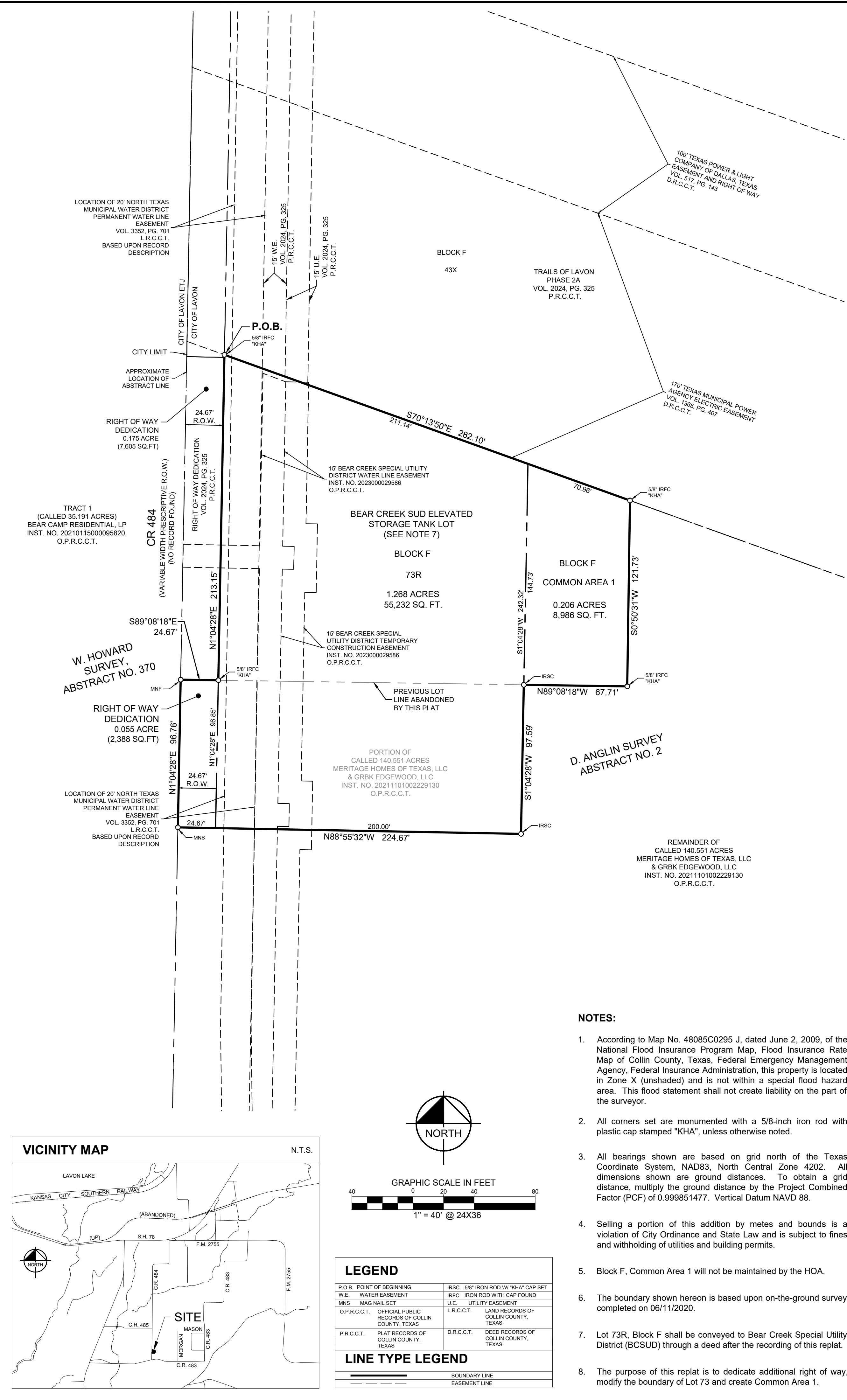
The State of Texas  
County of Dallas

Before me, the undersigned authority, appeared Steven Cook,  
on this the 23<sup>rd</sup> day of May, 2024.

*Lucas Tribble*



Notary Public in and for Dallas County, Texas



**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
 COUNTY OF COLLIN §  
 CITY OF LAVON §

WHEREAS MERITAGE HOMES OF TEXAS, LLC AND GRBK EDGEWOOD LLC, are the owners of a tract of land situated in the D. Anglin Survey, Abstract No. 2, Collin County, Texas, and being all of Lot 73, Block F of Trails of Lavon Phase 2A, according to the plat thereof recorded in Volume 2024, Page 325 of the Plat Records of Collin County, Texas, and a portion of a called 140.551 acre tract of land described in a Special Warranty Deed to Meritage Homes of Texas, LLC and GRBK Edgewood, LLC, as recorded in Instrument No. 20211101002229130 of the Official Public Records of Collin County, Texas, and being more particularly described as follows:

**BEGINNING** at a 5/8 inch iron rod with plastic cap stamped "KHA" found for the northwest corner of said Lot 73, common to the southwest corner of Lot 43X, said Block F, being on the easterly right of way line of County Road No. 484, a variable width right of way;

**THENCE** South 70°13'50" East, departing the easterly right of way line of said County Road No. 484, along the northerly line of said Lot 73 and the southerly line of said Lot 43X, a distance of 282.10 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" found for the northeast corner of said Lot 73;

**THENCE** South 00°50'31" West, departing the southerly line of said Lot 43X and along the easterly line of said Lot 73, a distance of 121.73 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" found for the southeast corner of said Lot 73;

**THENCE** North 89°08'18" West, along the southerly line of said Lot 73, a distance of 67.71 feet to a point for corner;

**THENCE** South 01°04'28" West, departing the southerly line of said Lot 73 and crossing said 140.551 acre tract, a distance of 97.59 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

**THENCE** North 88°55'32" West, continuing across said 140.551 acre tract, a distance of 224.67 feet to a mag nail set for corner on the westerly line of said 140.551 acre tract and in said County Road No. 484;

**THENCE** North 01°04'28" East, along the westerly line of said 140.551 acre tract and said County Road No. 484, a distance of 96.76 feet to a mag nail found for the west end of the southerly terminus of said County Road No. 484, as dedicated in said plat of Trails of Lavon Phase 2A;

**THENCE** South 89°08'18" East, along the southerly terminus of said County Road No. 484, a distance of 24.67 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" found for the east end of said southerly terminus, common to the southwest corner of said Lot 73, being on the easterly right of way line of said County Road No. 484;

**THENCE** North 01°04'28" East, along the westerly line of said Lot 73 and the easterly right of way line of said County Road No. 484, a distance of 213.15 feet to the **POINT OF BEGINNING** and containing 1.529 acres (66,606 square feet) of land, more or less.

**OWNER'S DEDICATION**

**KNOW ALL MEN BY THESE PRESENTS**

THAT MERITAGE HOMES OF TEXAS, LLC AND GRBK EDGEWOOD LLC, acting herein by and through its duly authorized officers, do hereby certify and adopt this plat designating the herein described tract as **TRAILS OF LAVON PHASE 2A, BLOCK F, LOT 73R AND COMMON AREA 1**, an addition to the City of Lavon, Texas, and do hereby dedicate, in fee simple, to the public use, including the use by the City of Lavon, forever, the streets, alleys, and easements shown thereon. The Streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or their improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Lavon. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and City of Lavon's use thereof.

- All water systems are owned and operated by Bear Creek Special Utility District (BCSUD) and all construction related to water service shall be done per BCSUD's specifications and general notes.
- The easements and public use areas, as shown, are dedicated for the public use, including specifically for the City of Lavon or Bear Creek Special Utility District, forever for the purposes indicated on the plat.
- The City of Lavon and Bear Creek Special Utility District are not responsible for replacing any improvements in, under or over any easements caused by maintenance or repair.
- Utility Easements may also be used for the mutual and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities as being subordinate to the public and City of Lavon and Bear Creek Special Utility District.
- The City of Lavon, Bear Creek Special Utility District, and public utilities shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with construction, maintenance, or efficiency of their respective systems in the easements.
- The City of Lavon, Bear Creek Special Utility District, and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, respective systems without the necessity at any time of procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the City of Lavon unless said modifications pertain to Bear Creek Special Utility District facilities, at which time Bear Creek Special Utility District shall also review and approve.

WITNESS my hand this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**MERITAGE HOMES OF TEXAS, LLC,**  
 an Arizona limited liability company

By: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_

STATE OF \_\_\_\_\_ §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of \_\_\_\_\_, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

WITNESS my hand this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**GRBK EDGEWOOD LLC,**  
 an Texas limited liability company

By: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_

STATE OF \_\_\_\_\_ §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of \_\_\_\_\_, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public, State of Texas

**SURVEYOR'S CERTIFICATION**

KNOW ALL MEN BY THESE PRESENTS:

That I, Sylvania Gunawan, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Lavon, Texas.

Sylvania Gunawan  
 Registered Professional Land Surveyor No. 6461  
 Kimley-Horn and Associates, Inc.  
 6160 Warren Parkway, Suite 210  
 Frisco, Texas 75034  
 Phone 972-335-3580

STATE OF TEXAS §  
 COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Sylvania Gunawan, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public, State of Texas

**PRELIMINARY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

**APPROVAL CERTIFICATE**

Date: \_\_\_\_\_

Chairman, Planning and Zoning Commission

City of Lavon, Texas

Approved for Construction: \_\_\_\_\_

Date: \_\_\_\_\_

Mayor, City of Lavon, Texas

Accepted: \_\_\_\_\_

Date: \_\_\_\_\_

Mayor, City of Lavon, Texas

The undersigned, the city secretary of the City of Lavon, Texas, hereby certifies that the foregoing final plat of the Trails of Lavon Phase 2A, Block F, Lot 73R and Common Area 1, an addition to the City of Lavon was submitted to the city council on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_ and the council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat and said council further authorized the mayor to note the acceptance thereof by signing his or her name as hereinabove subscribed.

Witness my hand this \_\_\_\_ day of \_\_\_\_\_, AD, 20\_\_.

City Secretary, City of Lavon, Texas

**REPLAT  
 TRAILS OF LAVON PHASE 2A,  
 BLOCK F,  
 LOT 73R AND COMMON AREA 1**

1 COMMON AREA LOT  
 1 BEAR CREEK SUD LOT

1.529 ACRES  
 BEING A REPLAT OF TRAILS OF LAVON  
 PHASE 2A, BLOCK F, LOT 73  
 RECORDED IN VOLUME 2024, PG. 325  
 P.R.C.C.T.  
 SITUATED IN

THE D. ANGLIN SURVEY, ABSTRACT NO. 2  
 CITY OF LAVON, COLLIN COUNTY, TEXAS

**Kimley»Horn**

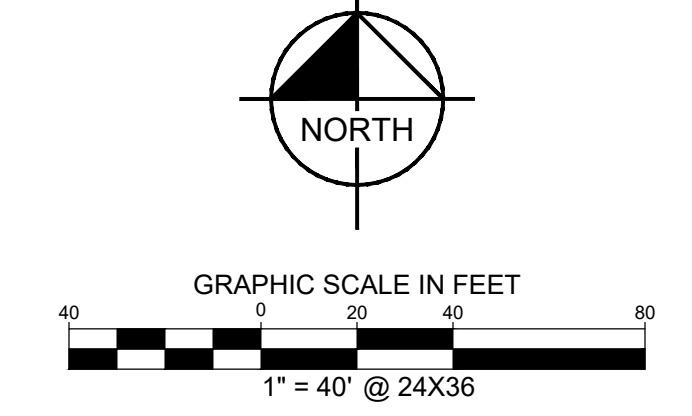
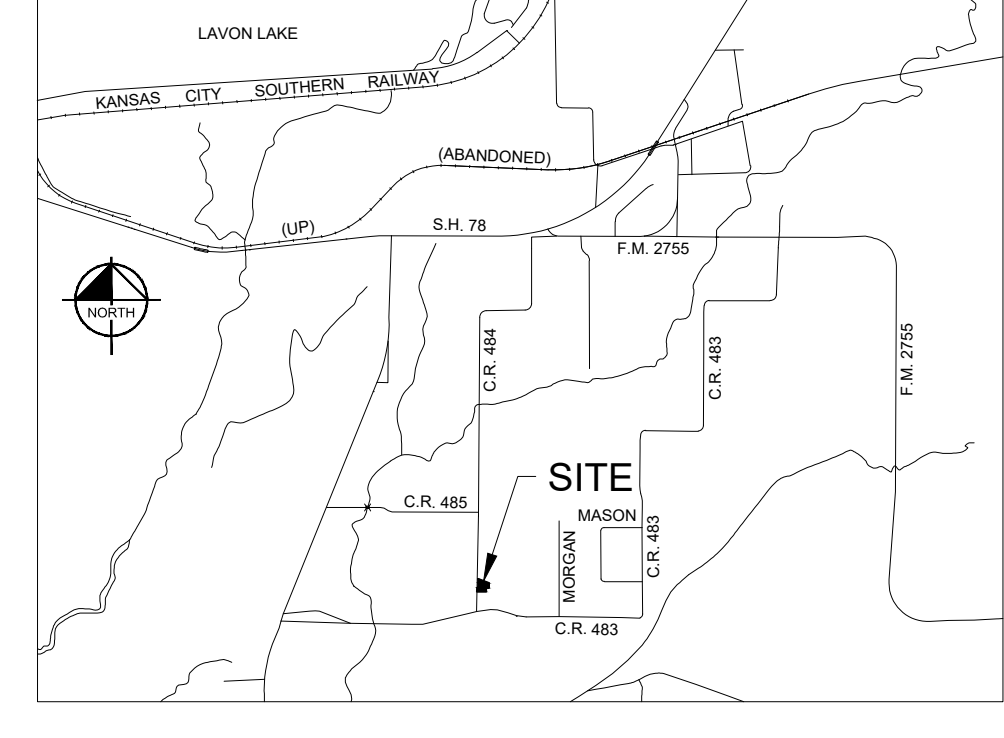
6160 Warren Parkway, Suite 210 Frisco, Texas 75034 Tel. No. (972) 335-3580 FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	CDS	KHA	May 2024	061179320	1 OF 1

**OWNER/DEVELOPER:**  
 Meritage Homes of Texas, LLC  
 8840 Cypress Waters Blvd.  
 Dallas, Texas 75092  
 Phone: 972-580-6302  
 Contact: Steven Cook

**OWNER:**  
 GRBK EDGEWOOD LLC  
 2805 Dallas Parkway, Suite 400  
 Plano, Texas 75093  
 Phone: 817-658-2112  
 Contact: Bobby Samuel

**VICINITY MAP**

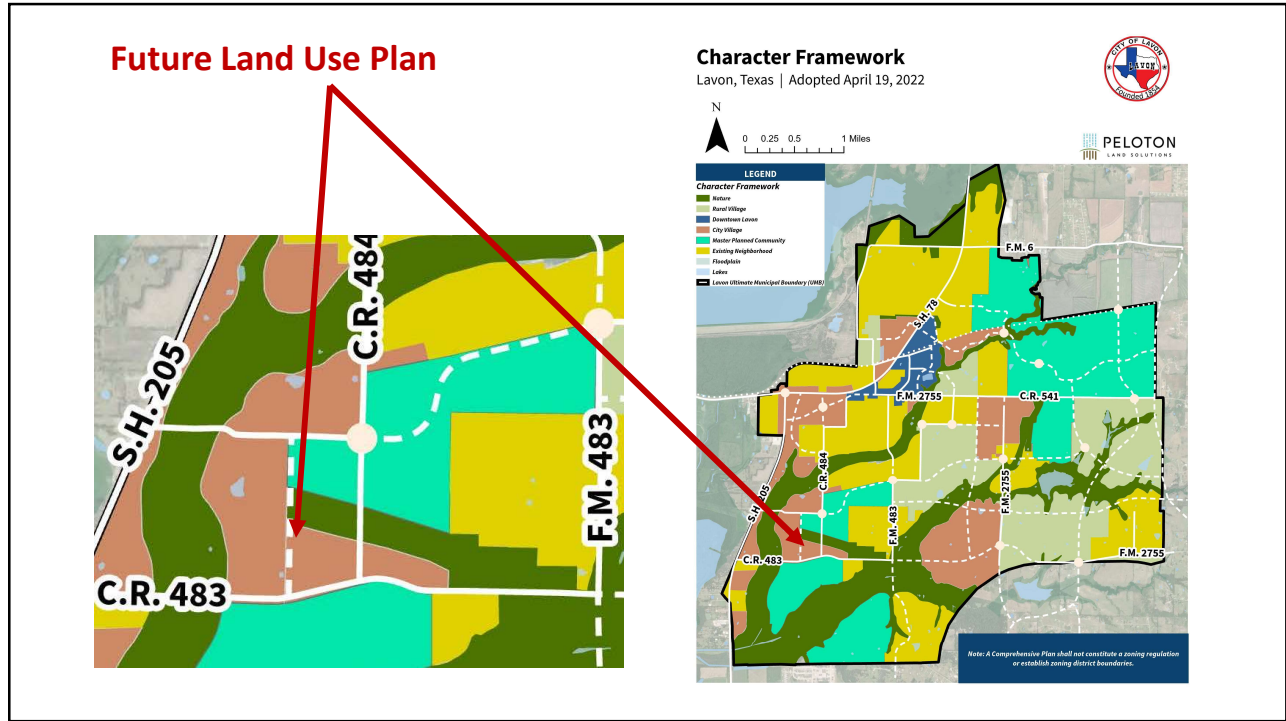


**LEGEND**

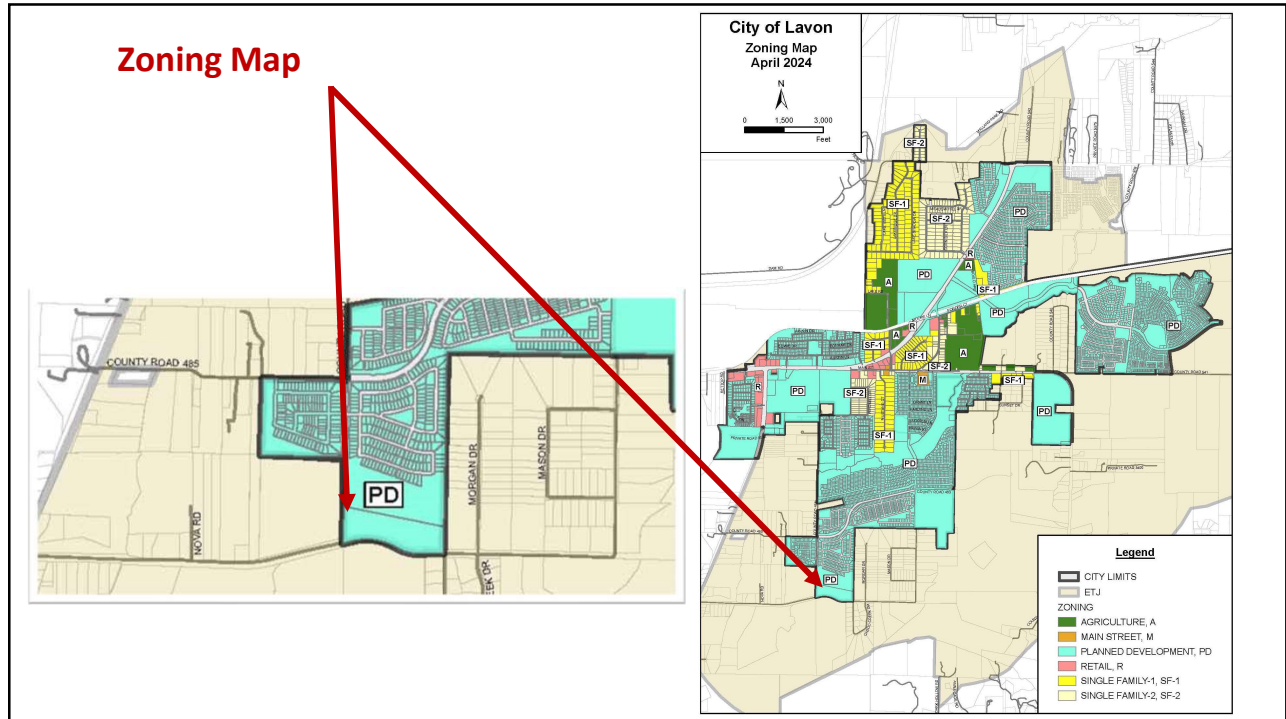
P.O.B. POINT OF BEGINNING	IRSC 5/8" IRON ROD W/ "KHA" CAP SET
W.E. WATER EASEMENT	IRFC IRON ROD WITH CAP FOUND
MNS MAG NAIL SET	U.E. UTILITY EASEMENT
O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS	L.R.C.C.T. LAND RECORDS OF COLLIN COUNTY, TEXAS
P.R.C.C.T. PLAT RECORDS OF COLLIN COUNTY, TEXAS	D.R.C.C.T. DEED RECORDS OF COLLIN COUNTY, TEXAS

**LINE TYPE LEGEND**

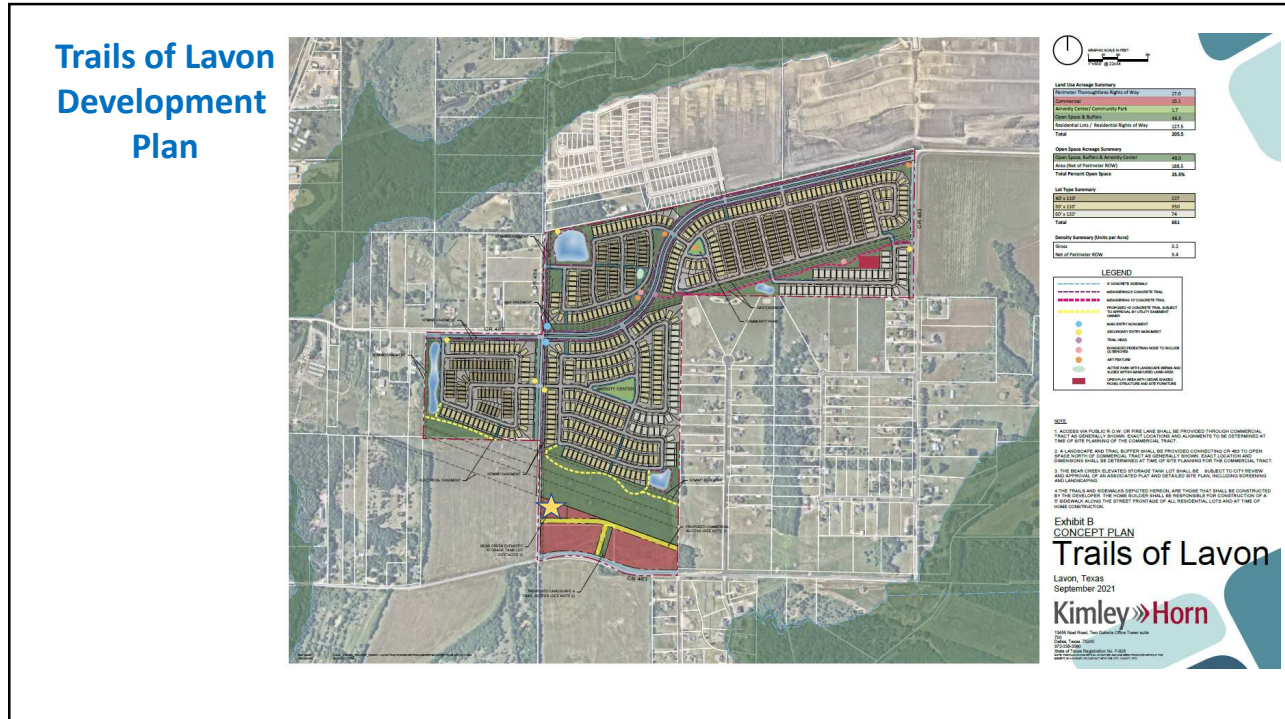
—————	BOUNDARY LINE
- - - - -	EASEMENT LINE



11



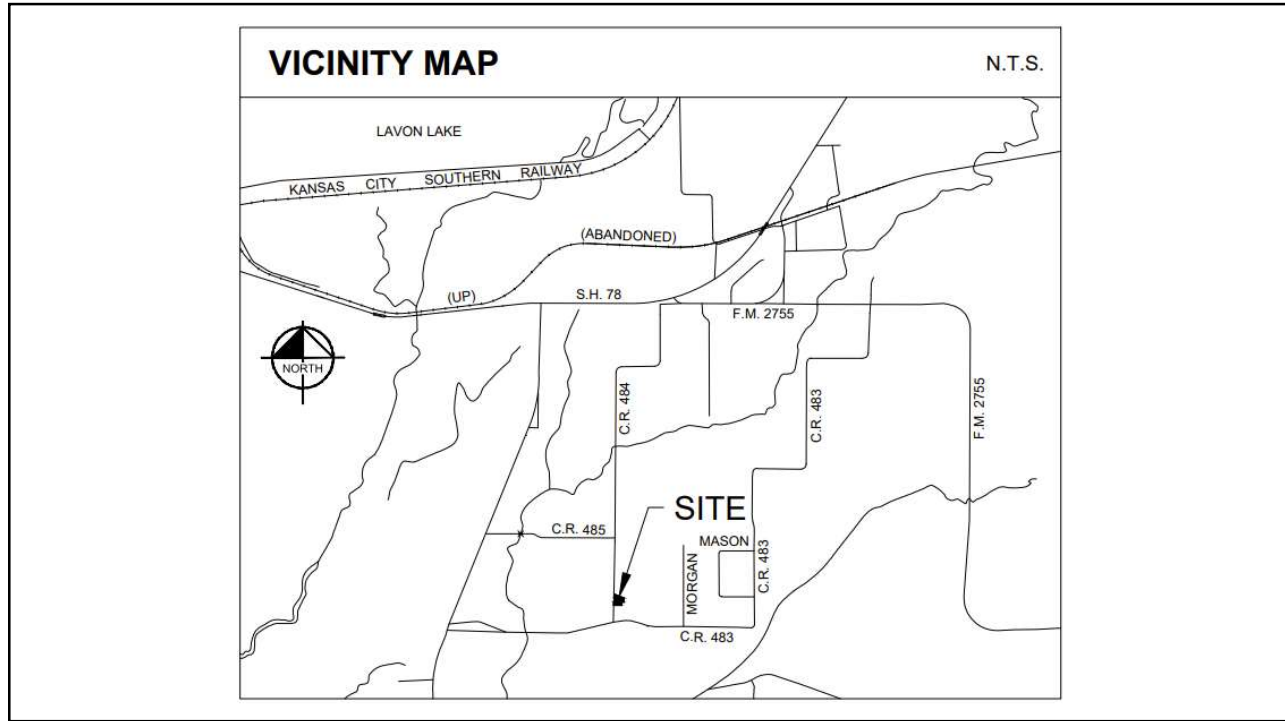
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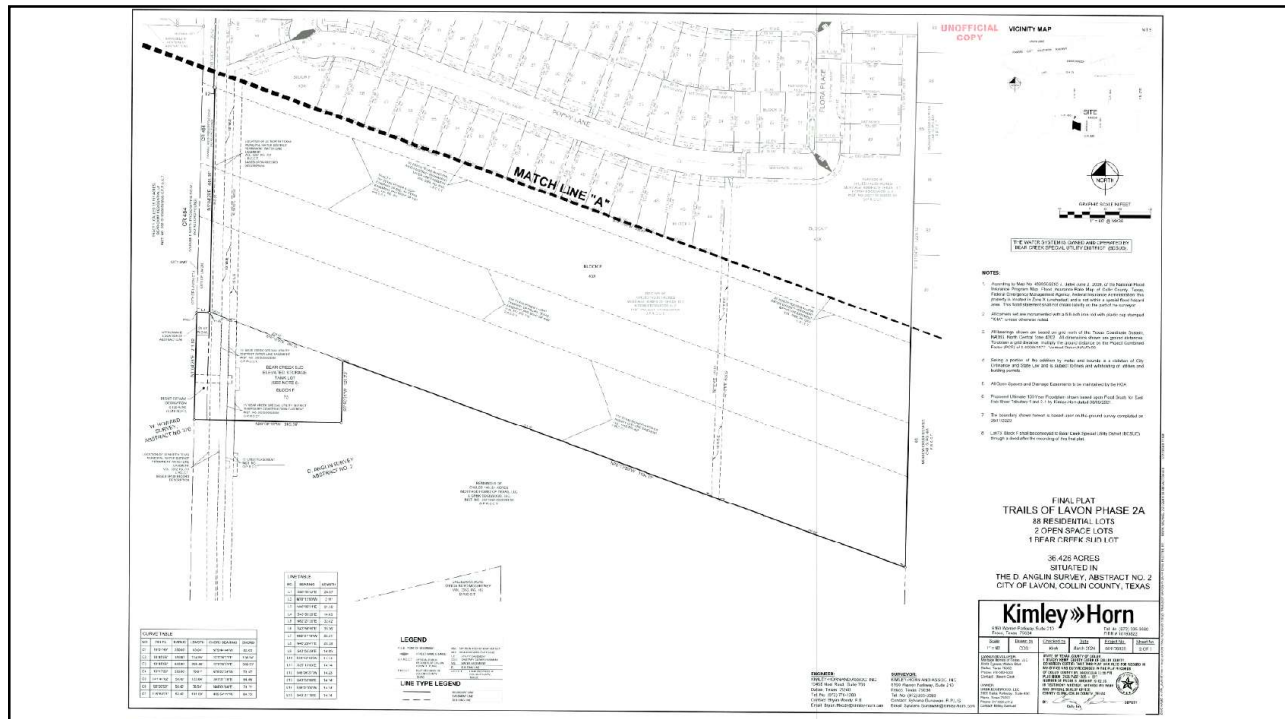
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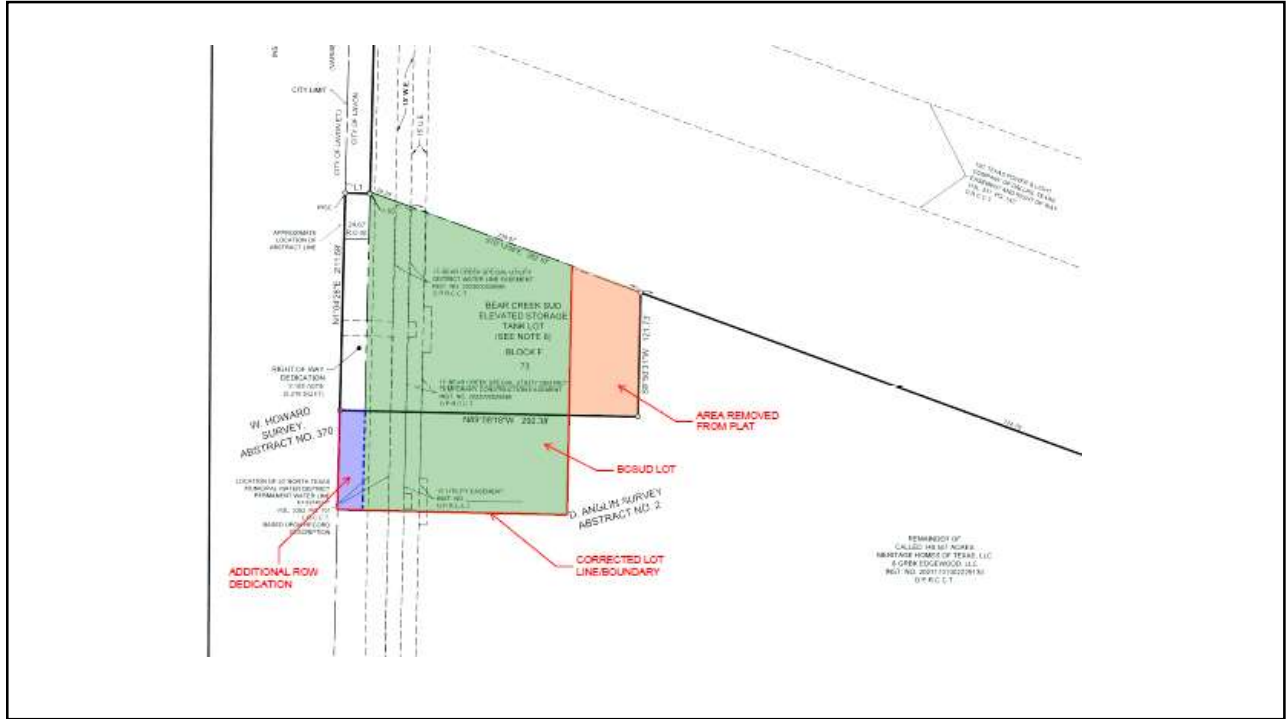
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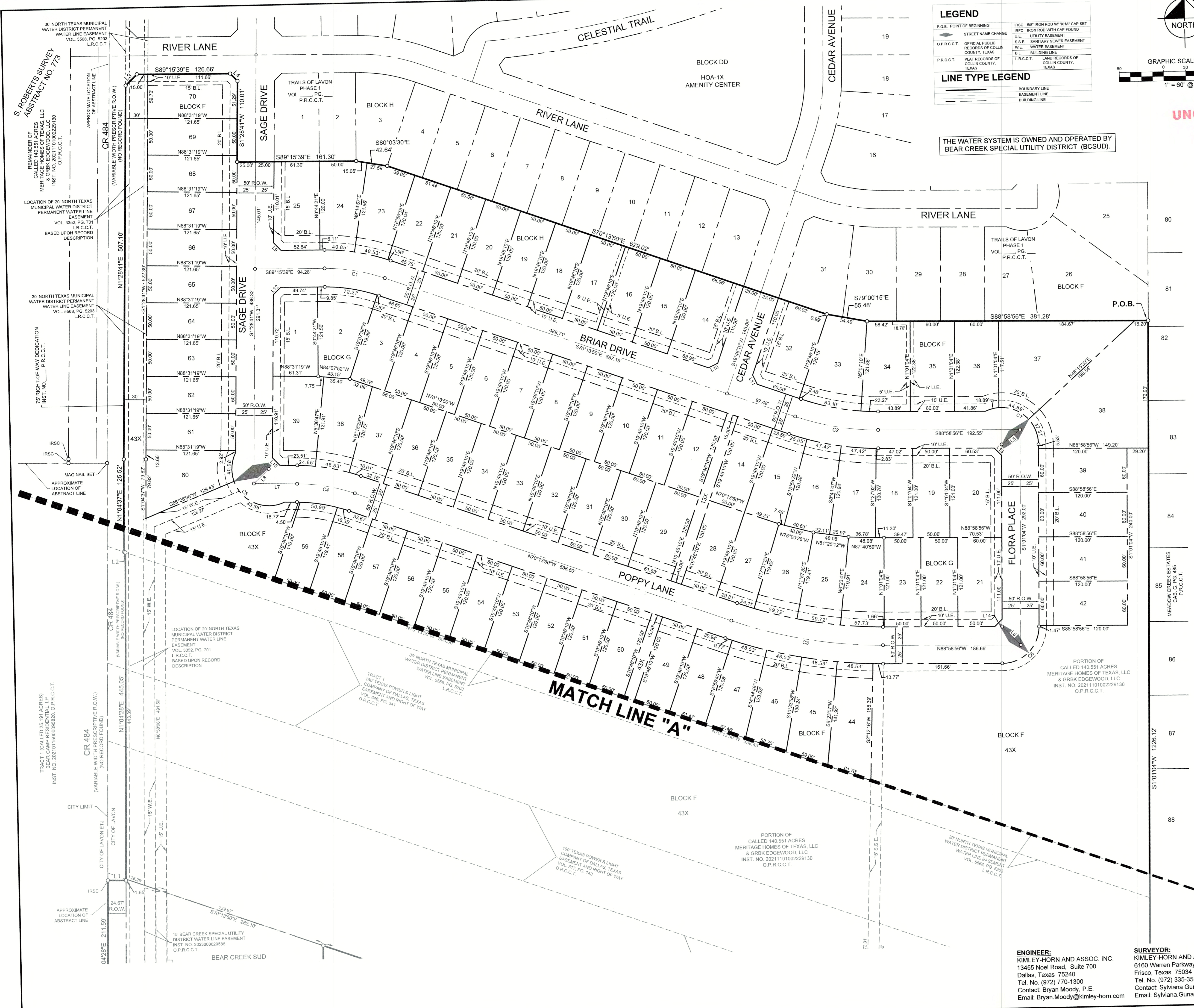
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16



17

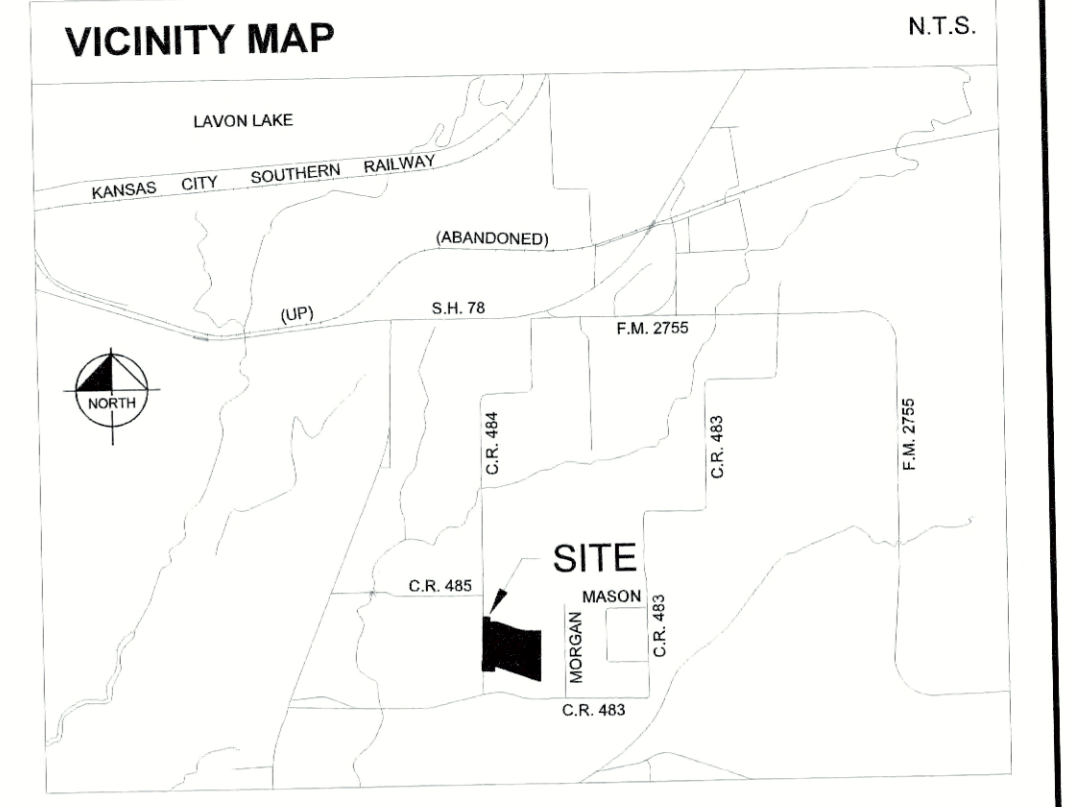
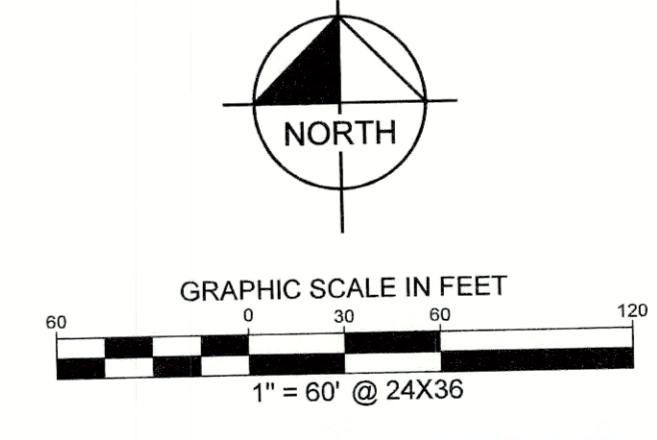


**LEGEND**

P.O.B. POINT OF BEGINNING	IRSC 5/8" IRON ROD W/ "OAK" CAP SET
STREET NAME CHANGE	IRSC IRON ROD WITH CAP FOUND
O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS	U.E. UTILITY EASEMENT
P.R.C.C.T. PLAT RECORDS OF COLLIN COUNTY, TEXAS	S.S.E. SANITARY SEWER EASEMENT
	W.E. WATER EASEMENT
	B.L. BUILDING LINE
	L.R.C.C.T. LAND RECORDS OF COLLIN COUNTY, TEXAS

**LINE TYPE LEGEND**

---	BOUNDARY LINE
- - -	EASEMENT LINE
---	BUILDING LINE



THE WATER SYSTEM IS OWNED AND OPERATED BY BEAR CREEK SPECIAL UTILITY DISTRICT (BCSUD).

**UNOFFICIAL COPY**

- NOTES:**
- According to Map No. 48085C0295 J, dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. This flood statement shall not create liability on the part of the surveyor.
  - All corners set are monumented with a 5/8-inch iron rod with plastic cap stamped "KHA", unless otherwise noted.
  - All bearings shown are based on grid north of the Texas Coordinate System, NAD83, North Central Zone 4202. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.999851477. Vertical Datum NAVD 88.
  - Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines and withholding of utilities and building permits.
  - All Open Spaces and Drainage Easements to be maintained by the HOA.
  - Proposed Ultimate 100-Year Floodplain shown based upon Flood Study for East Fork River Tributary 1 and 2-1 by Kimley-Horn dated 08/09/2021.
  - The boundary shown hereon is based upon on-the-ground survey completed on 06/11/2020.
  - Lot 73, Block F shall be conveyed to Bear Creek Special Utility District (BCSUD) through a deed after the recording of this final plat.

**LINE TABLE**

NO.	BEARING	LENGTH
L1	S88°55'32"E	24.67'
L2	N70°13'50"W	2.11'
L3	N46°06'31"E	21.35'
L4	S43°53'29"E	14.05'
L5	N52°21'29"E	32.02'
L6	S43°58'56"E	35.36'
L7	N88°31'19"W	58.51'
L8	N46°28'41"E	28.28'
L9	S43°53'29"E	14.05'
L10	S64°46'10"W	14.14'
L11	S25°13'50"E	14.14'
L12	S46°06'31"W	14.23'
L13	S43°58'56"E	14.14'
L14	S46°01'04"W	14.14'
L15	S43°31'19"E	14.14'

**CURVE TABLE**

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	19°01'49"	250.00'	83.04'	N79°44'44"W	82.65'
C2	18°45'06"	350.00'	114.55'	S79°36'23"E	114.04'
C3	18°45'06"	640.00'	209.46'	S79°36'23"E	208.53'
C4	18°17'29"	250.00'	79.81'	N79°22'34"W	79.47'
C5	14°14'10"	50.00'	123.64'	S43°31'19"E	94.46'
C6	90°00'00"	50.00'	78.54'	N46°01'04"E	70.71'
C7	115°50'31"	50.00'	101.09'	N56°54'11"W	84.73'

**FINAL PLAT  
TRAILS OF LAVON PHASE 2A**  
88 RESIDENTIAL LOTS  
2 OPEN SPACE LOTS  
1 BEAR CREEK SUD LOT

36.426 ACRES  
SITUATED IN  
THE D. ANGLIN SURVEY, ABSTRACT NO. 2  
CITY OF LAVON, COLLIN COUNTY, TEXAS

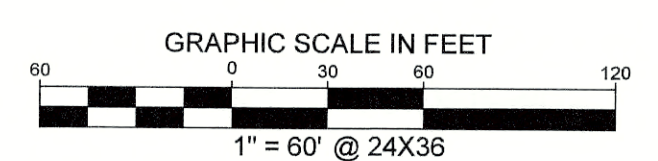
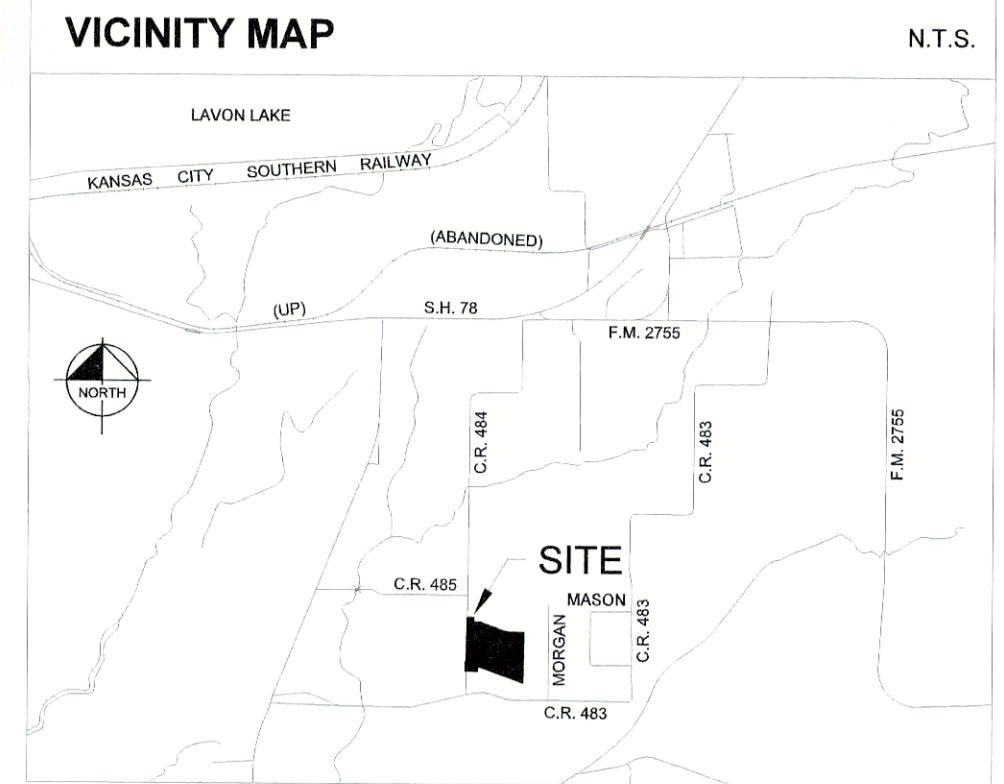
**Kimley»Horn**  
6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Tel. No. (972) 335-3580  
FIRM # 10193822

Scale 1" = 60'	Drawn by CDS	Checked by KHA	Date March 2024	Project No. 061179320	Sheet No. 1 OF 3
OWNER/DEVELOPER: Meritage Homes of Texas, LLC 8840 Cypress Waters Blvd. Dallas, Texas 75092 Phone: 972-580-8302 Contact: Steven Cook			STATE OF TEXAS, COUNTY OF COLLIN I, STACEY KEMP, COUNTY CLERK OF COLLIN COUNTY DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE AND DULY RECORDED IN THE PLAT RECORDS OF COLLIN COUNTY ON: 04/03/2024 12:56 PM PLAT BOOK: 2024 PAGE: 325 - 327 NUMBER OF PAGES: 3 AMOUNT: \$152.25 IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, COUNTY CLERK, COLLIN COUNTY, TEXAS		
OWNER: GRBK EDGEWOOD LLC 2805 Dallas Parkway, Suite 400 Plano, Texas 75093 Phone: 817-458-2112 Contact: Bobby Samuel			SURVEYOR: KIMLEY-HORN AND ASSOC. INC. 6160 Warren Parkway, Suite 210 Frisco, Texas 75034 Tel. No. (972) 335-3580 Contact: Sylviana Gunawan, R.P.L.S. Email: Sylviana.Gunawan@kimley-horn.com		

**ENGINEER:**  
KIMLEY-HORN AND ASSOC. INC.  
13455 Noel Road, Suite 700  
Dallas, Texas 75240  
Tel. No. (972) 770-1300  
Contact: Bryan Moody, P.E.  
Email: Bryan.Moody@kimley-horn.com

**SURVEYOR:**  
KIMLEY-HORN AND ASSOC. INC.  
6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Tel. No. (972) 335-3580  
Contact: Sylviana Gunawan, R.P.L.S.  
Email: Sylviana.Gunawan@kimley-horn.com

83 UNOFFICIAL COPY



THE WATER SYSTEM IS OWNED AND OPERATED BY BEAR CREEK SPECIAL UTILITY DISTRICT (BCSUD).

**NOTES:**

1. According to Map No. 48085C0295 J, dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. This flood statement shall not create liability on the part of the surveyor.
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7. The boundary shown hereon is based upon on-the-ground survey completed on 06/11/2020.
8. Lot 73, Block F shall be conveyed to Bear Creek Special Utility District (BCSUD) through a deed after the recording of this final plat.

**FINAL PLAT  
TRAILS OF LAVON PHASE 2A  
88 RESIDENTIAL LOTS  
2 OPEN SPACE LOTS  
1 BEAR CREEK SUD LOT**

36.426 ACRES  
SITUATED IN  
THE D. ANGLIN SURVEY, ABSTRACT NO. 2  
CITY OF LAVON, COLLIN COUNTY, TEXAS

# Kimley»Horn

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Tel. No. (972) 335-3580  
FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	CDS	KHA	March 2024	061179320	2 OF 3

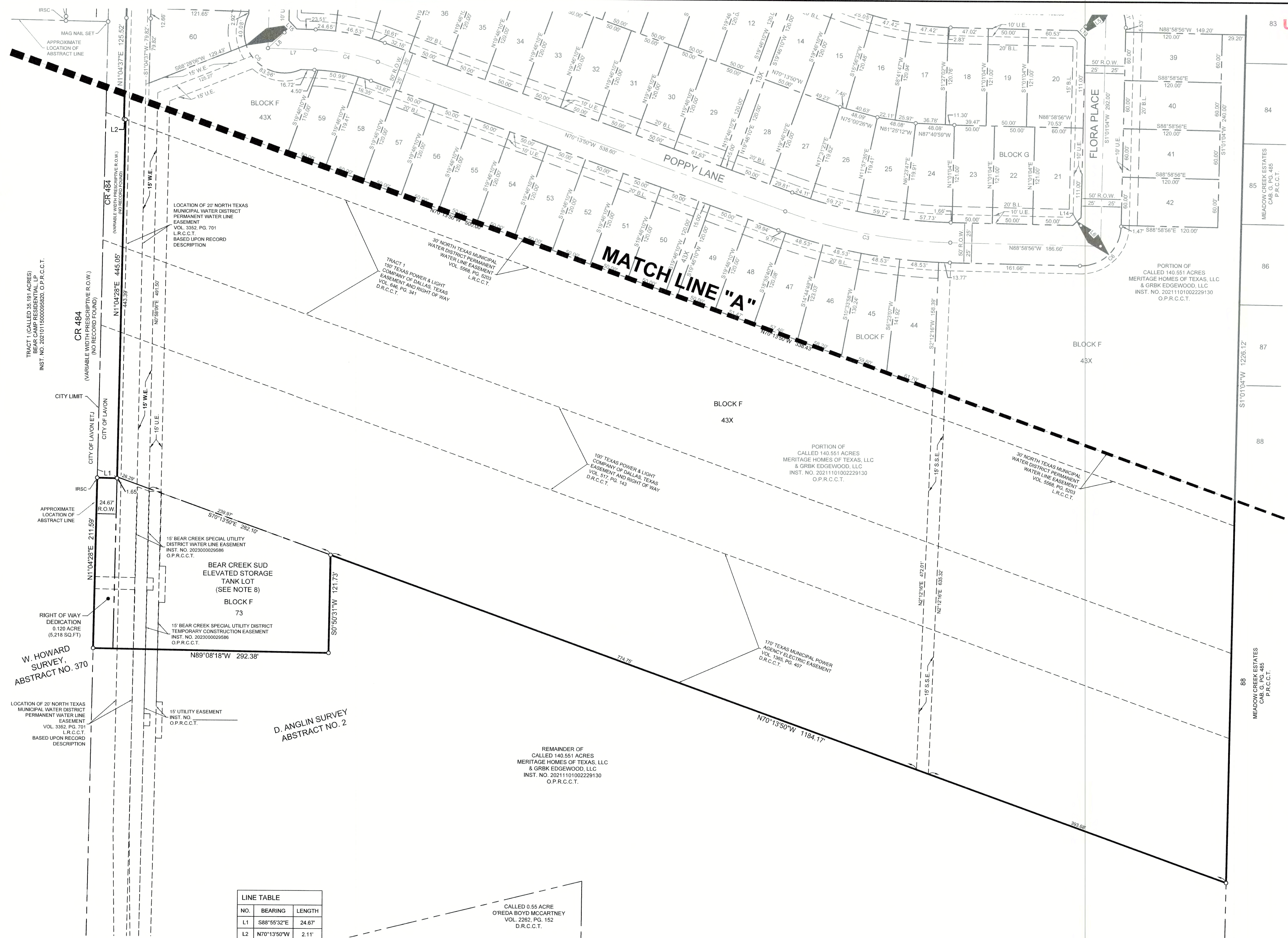
OWNER/DEVELOPER:	STATE OF TEXAS, COUNTY OF COLLIN
Meritage Homes of Texas, LLC 8840 Cypress Waters Blvd. Dallas, Texas 75092 Phone: 972-580-6302 Contact: Steven Cook	I, STACEY KEMP, COUNTY CLERK OF COLLIN COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE AND DULY RECORDED IN THE PLAT RECORDS OF COLLIN COUNTY ON: 04/03/2024 12:55 PM PLAT BOOK: 2024 PAGE: 325 - 327 NUMBER OF PAGES: 3 AMOUNT: \$162.25 IN TESTIMONY WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL OF OFFICE. COUNTY CLERK, COLLIN COUNTY, TEXAS

OWNER:	SURVEYOR:
GRBK EDGEWOOD, LLC 2805 Dallas Parkway, Suite 400 Frisco, Texas 75093 Phone: 817-658-2112 Contact: Bobby Samuel	KIMLEY-HORN AND ASSOC. INC. 6160 Warren Parkway, Suite 210 Frisco, Texas 75034 Tel. No. (972) 335-3580 Contact: Sylviana Gunawan, R.P.L.S. Email: Sylviana.Gunawan@kimley-horn.com

ENGINEER:	DEPUTY:
KIMLEY-HORN AND ASSOC. INC. 13455 Noel Road, Suite 700 Dallas, Texas 75240 Tel. No. (972) 770-1300 Contact: Bryan Moody, P.E. Email: Bryan.Moody@kimley-horn.com	Cathy Lea



**CURVE TABLE**

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L14	S46°01'04"W	14.14'
L15	S43°31'19"E	14.14'

**LEGEND**

P.O.B. POINT OF BEGINNING	IRSC 5/8" IRON ROD W/ "KHA" CAP SET
STREET NAME CHANGE	IRFC IRON ROD WITH CAP FOUND
UTILITY EASEMENT	U.E. UTILITY EASEMENT
SANITARY SEWER EASEMENT	S.S.E. SANITARY SEWER EASEMENT
WATER EASEMENT	W.E. WATER EASEMENT
BUILDING LINE	B.L. BUILDING LINE
PLAT RECORDS OF COLLIN COUNTY, TEXAS	L.R.C.C.T. LAND RECORDS OF COLLIN COUNTY, TEXAS

**LINE TYPE LEGEND**

BOUNDARY LINE	—————
EASEMENT LINE	- - - - -
BUILDING LINE	—————

CALLLED 0.55 ACRE  
OREDA BOYD MCCARTNEY  
VOL. 2262, PG. 152  
D.R.C.C.T.

REMAINDER OF  
CALLED 140.551 ACRES  
MERITAGE HOMES OF TEXAS, LLC  
& GRBK EDGEWOOD, LLC  
INST. NO. 20211101002229130  
O.P.R.C.C.T.

PORTION OF  
CALLED 140.551 ACRES  
MERITAGE HOMES OF TEXAS, LLC  
& GRBK EDGEWOOD, LLC  
INST. NO. 20211101002229130  
O.P.R.C.C.T.

170 TEXAS MUNICIPAL POWER  
AGENCY ELECTRIC EASEMENT  
VOL. 1365, PG. 407  
D.R.C.C.T.

100 TEXAS POWER & LIGHT  
COMPANY OF DALLAS, TEXAS  
VOL. 917, PG. 143  
D.R.C.C.T.

TRACT 1  
190 TEXAS POWER & LIGHT  
COMPANY OF DALLAS, TEXAS  
VOL. 598, PG. 503  
VOL. 946, PG. 341  
D.R.C.C.T.

LOCATION OF 20' NORTH TEXAS  
MUNICIPAL WATER DISTRICT  
PERMANENT WATER LINE  
EASEMENT  
VOL. 3352, PG. 701  
L.R.C.C.T.  
BASED UPON RECORD  
DESCRIPTION

15' BEAR CREEK SPECIAL UTILITY  
DISTRICT WATER LINE EASEMENT  
INST. NO. 2023000020596  
O.P.R.C.C.T.

BEAR CREEK SUD  
ELEVATED STORAGE  
TANK LOT  
(SEE NOTE 8)  
BLOCK F  
73

15' BEAR CREEK SPECIAL UTILITY DISTRICT  
TEMPORARY CONSTRUCTION EASEMENT  
INST. NO. 2023000020596  
O.P.R.C.C.T.

LOCATION OF 20' NORTH TEXAS  
MUNICIPAL WATER DISTRICT  
PERMANENT WATER LINE  
EASEMENT  
VOL. 3352, PG. 701  
L.R.C.C.T.  
BASED UPON RECORD  
DESCRIPTION

15' UTILITY EASEMENT  
INST. NO. 2023000020596  
O.P.R.C.C.T.

TRACT 1 (CALLED 35.181 ACRES)  
BEAR CAMP RESIDENTIAL LP  
INST. NO. 202101150005820, O.P.R.C.C.T.

CR 484  
(VARIABLE WIDTH PRESERVATIVE R.O.W.)  
(NO RESURFACING)

CITY LIMIT  
CITY OF LAVON ET J

IRSC  
APPROXIMATE  
LOCATION OF  
ABSTRACT LINE

W. HOWARD  
SURVEY,  
ABSTRACT NO. 370

LOCATION OF 20' NORTH TEXAS  
MUNICIPAL WATER DISTRICT  
PERMANENT WATER LINE  
EASEMENT  
VOL. 3352, PG. 701  
L.R.C.C.T.  
BASED UPON RECORD  
DESCRIPTION

D. ANGLIN SURVEY  
ABSTRACT NO. 2

OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTY OF COLLIN §

CITY OF LAVON §

WHEREAS MERITAGE HOMES OF TEXAS, LLC AND GRBK EDGEWOOD LLC, are the owners of a tract of land situated in the D. Anglin Survey, Abstract No. 2, Collin County, Texas, and being a portion of a called 140.551 acre tract of land described in a Special Warranty Deed to Meritage Homes of Texas, LLC and GRBK Edgewood LLC, as recorded in Instrument No. 202111002229130 of the Official Public Records of Collin County, Texas, and being more particularly described as follows:

BEGINNING a 5/8 inch iron rod with plastic cap stamped "KHA" set for the southeast corner of Trails of Lavon Phase 1, as recorded in the Plat Records of Collin County, Texas, same being on the westerly line of Meadow Creek Estates, according to the plat thereof recorded in Cabinet G, Page 485 of the Plat Records of Collin County, Texas, and the easterly line of said 140.551 acre tract;

THENCE South 01°01'04" West, along the easterly line of said 140.551 acre tract and the westerly line of said Meadow Creek Estates, a distance of 1226.12 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

THENCE departing the westerly line of said Meadow Creek Estates and the easterly line of said 140.551 acre tract, and crossing said 140.551 acre tract, the following:

North 70°13'50" West, a distance of 1,184.17 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

South 00°50'31" West, a distance of 121.73 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 89°08'18" West, a distance of 292.38 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set on the westerly line of said 140.551 acre tract, same being on the easterly line of a called 35.191 acre tract of land described as Tract 1 in a deed to Bear Camp Residential, LP, as recorded in Instrument No. 2021011500095820 of the Official Public Records of Collin County, Texas, and the approximate centerline of said County Road No. 484;

THENCE North 01°04'28" East, along the westerly line of said 140.551 acre tract, the easterly line of said Tract 1, and the approximate centerline of said County Road 484, a distance of 211.59 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the west end of the southerly terminus of County Road 484, a 75 foot wide right of way, as dedicated in said Trails of Lavon Phase 1;

THENCE South 88°55'32" East, departing said centerline, the westerly line of said 140.551 acre tract, the easterly line of said Tract 1, and along the southerly terminus of said County Road 484, a distance of 24.67 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the east end of said terminus;

THENCE along the easterly right of way line of said County Road 484, the following:

North 01°04'28" East, a distance of 445.05 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set on the northerly line of a 150 foot wide Texas Power and Light Company of Dallas, Texas easement and right of way "TP&L", as described in Volume 646, Page 341, of the Deed Records of Collin County, Texas;

North 70°13'50" West, along the northerly line of said "TP&L" easement, a distance of 2.11 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 01°04'37" East, departing the northerly line of said "TP&L" easement, a distance of 125.52 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 01°28'41" East, a distance of 507.10 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the south end of a corner clip located on the easterly right of way line of said County Road 484 and with the southerly right of way line of River Lane, a 50 foot wide right of way, as dedicated in said Final Plat of Trails of Lavon Phase 1;

THENCE North 46°06'31" East, along said corner clip, a distance of 21.35 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for north end of said corner clip;

THENCE South 89°15'39" East, along said southerly right of line of said River Lane, a distance of 126.66 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the north end of a corner clip located at the intersection of River Lane and Sage Drive, a 50 foot wide right of way, as dedicated in said Final Plat of Trails of Lavon Phase 1;

THENCE South 43°53'29" East, along said corner clip, a distance of 14.05 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the south end of said corner clip, same being on the westerly right of way line of said Sage Drive;

THENCE South 01°28'41" West, along the westerly right of way line of said Sage Drive, a distance of 110.01 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the west end of the southerly terminus of said Sage Drive, common to an ell corner on the southerly line of said Trails of Lavon Phase 1;

THENCE departing the westerly right of way line of said Sage Drive, and along the southerly line of said Trails of Lavon Phase 1, the following:

South 89°15'39" East, a distance of 161.30 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

South 80°03'30" East, a distance of 42.64 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

South 70°13'50" East, a distance of 629.02 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

South 79°00'15" East, a distance of 55.48 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

South 88°58'56" East, a distance of 381.28 feet to the POINT OF BEGINNING and containing 36.426 acres (1,586,696 square feet) of land, more or less.

Table with 3 columns: LOT NO., ACRES, SQ. FT. Rows include BLOCK F LOT 32 through BLOCK F LOT 46.

Table with 3 columns: LOT NO., ACRES, SQ. FT. Rows include BLOCK F LOT 47 through BLOCK F LOT 61.

Table with 3 columns: LOT NO., ACRES, SQ. FT. Rows include BLOCK F LOT 62 through BLOCK F LOT 76.

Table with 3 columns: LOT NO., ACRES, SQ. FT. Rows include BLOCK G LOT 6 through BLOCK G LOT 20.

Table with 3 columns: LOT NO., ACRES, SQ. FT. Rows include BLOCK G LOT 21 through BLOCK G LOT 35.

Table with 3 columns: LOT NO., ACRES, SQ. FT. Rows include BLOCK G LOT 36 through BLOCK G LOT 50.

Table with 3 columns: LOT NO., ACRES, SQ. FT. Rows include BLOCK H LOT 25 through BLOCK H LOT 24.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS

THAT MERITAGE HOMES OF TEXAS, LLC AND GRBK EDGEWOOD LLC, acting herein by and through its duly authorized officers, do hereby certify and adopt this plat designating the herein described tract as TRAILS OF LAVON PHASE 2A, an addition to the City of Lavon, Texas, and do hereby dedicate, in fee simple, to the public use, including the use by the City of Lavon, forever, the streets, alleys, and easements shown thereon.

- 1. All water systems are owned and operated by Bear Creek Special Utility District (BCSUD) and all construction related to water service shall be done per BCSUD's specifications and general notes.
2. The easements and public use areas, as shown, are dedicated for the public use, including specifically for the City of Lavon or Bear Creek Special Utility District, forever for the purposes indicated on the plat.
3. The City of Lavon and Bear Creek Special Utility District are not responsible for replacing any improvements in, under or over any easements caused by maintenance or repair.
4. Utility Easements may also be used for the mutual and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities as being subordinate to the public and City of Lavon and Bear Creek Special Utility District.
5. The City of Lavon, Bear Creek Special Utility District, and public utilities shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with construction, maintenance, or efficiency of their respective systems in the easements.
6. The City of Lavon, Bear Creek Special Utility District, and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, respective systems without the necessity at any time of procuring permission from anyone.
7. All modifications to this document shall be by means of plat and approved by the City of Lavon unless said modifications pertain to Bear Creek Special Utility District facilities, at which time Bear Creek Special Utility District shall also review and approve.

WITNESS my hand this the 21st day of March, 2024

MERITAGE HOMES OF TEXAS, LLC, an Arizona limited liability company

By: [Signature]

Name: Frank Sa

Title: Vice President

STATE OF Texas §
COUNTY OF Dallas §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Frank Sa, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 21st day of March, 2024

WITNESS my hand this the 26 day of MARCH, 2024

GRBK EDGEWOOD LLC, a Texas limited liability company

By: [Signature]

Name: Bobby Samuel

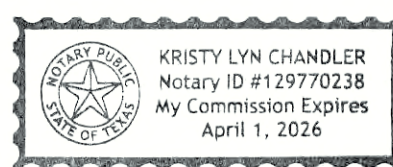
Title: VICE PRESIDENT

STATE OF Texas §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Bobby Samuel, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 26 day of MARCH, 2024

[Signature]
Notary Public, State of Texas



[Signature]
Date: 5/24/22

Chairman, Planning and Zoning Commission
City of Lavon, Texas

Approved for Construction: [Signature]
Date: 6/1/22

Mayor, City of Lavon, Texas

Accepted: [Signature]
Date: 3/19/24

Mayor, City of Lavon, Texas

The undersigned, the city secretary of the City of Lavon, Texas, hereby certifies that the foregoing final plat of the Trails of Lavon Phase 2A, an addition to the City of Lavon was submitted to the city council on the 19 day of March, 2024 and the council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat and said council further authorized the mayor to note the acceptance thereof by signing his or her name as hereinabove subscribed.

Witness my hand this 19 day of March, AD, 2024

[Signature]
City Secretary, City of Lavon, Texas



SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, Sylviana Gunawan, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Lavon, Texas.

[Signature]

Sylviana Gunawan
Registered Professional Land Surveyor No. 6461
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone 972-335-3580

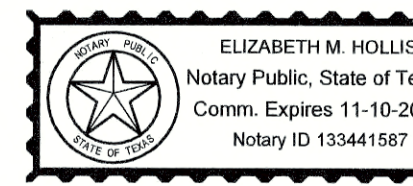


STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Sylviana Gunawan, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 26th day of March, 2024

[Signature]
Notary Public, State of Texas



This plat correctly presents the required easements and certifications required by Bear Creek Special Utility District for this development.

BEAR CREEK SPECIAL UTILITY DISTRICT
NAME/TITLE: Camille Reagan, General Manager
DATE: April 3, 2024

THE WATER SYSTEM IS OWNED AND OPERATED BY BEAR CREEK SPECIAL UTILITY DISTRICT (BCSUD).



FINAL PLAT
TRAILS OF LAVON PHASE 2A
88 RESIDENTIAL LOTS
2 OPEN SPACE LOTS
1 BEAR CREEK SUD LOT

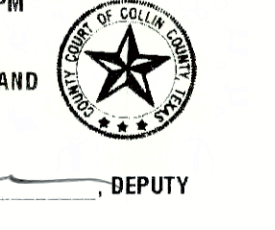
36.426 ACRES
SITUATED IN
THE D. ANGLIN SURVEY, ABSTRACT NO. 2
CITY OF LAVON, COLLIN COUNTY, TEXAS

Kimley Horn
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Tel. No. (972) 335-3580
FIRM # 10193822

Table with columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Rows include N/A, CDS, KHA, March 2024, 061179320, 3 OF 3.

ENGINEER: KIMLEY-HORN AND ASSOC. INC.
13455 Noel Road, Suite 700
Dallas, Texas 75240
Tel. No. (972) 770-1300
Contact: Bryan Moody, P.E.
Email: Bryan.Moody@kimley-horn.com

SURVEYOR: KIMLEY-HORN AND ASSOC. INC.
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Tel. No. (972) 335-3580
Contact: Sylviana Gunawan, R.P.L.S.
Email: Sylviana.Gunawan@kimley-horn.com



May 31, 2024

Kim Dobbs  
City of Lavon, TX  
Via Email Delivery to [kdobbs@lavontx.gov](mailto:kdobbs@lavontx.gov)

Re: Trails of Lavon Phase 2A, Replat  
Plat Review  
LJA Job No. NTP-40467  
MyGov Submittal: May 24, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. Provided below are comments relating to planning and design. Please do not hesitate to let us know if you have any questions.

#### **PLANNING + DESIGN COMMENTS**

---

1. The Replat lists two owners for Lot 73R and Common Area 1R, Block F. However, only one owner is listed on the plat application. Please clarify the ownership of the proposed replatted property and provide signatures and authorization for both owners if applicable.
2. Revise the plat to label Common Area 1, Block F as "Common Area 1R, Block F" to indicate that the property has been previously platted (even though it was a different lot designation).
3. Plat note #5 states Common Area 1, Block F will not be maintained by the HOA. Revise the note to state "Common Area 1R, Block F will be owned and maintained by the HOA."
4. FYI: Upon resubmittal, please provide a comment response letter indicating acknowledgement or clarification of how each comment has been addressed.

Comments prepared and compiled by:



Tiffany McLeod, AICP, EIT  
Project Manager, Placemaking + Resilience at LJA  
Email: [tmcleod@lja.com](mailto:tmcleod@lja.com)  
Phone: 469.348.6571  
On behalf of the City of Lavon, TX

Quality check by:



Abra R. Nusser, AICP  
Director of Placemaking + Resilience at LJA  
Email: [anusser@lja.com](mailto:anusser@lja.com)  
Phone: 972.339.8186  
On behalf of the City of Lavon, TX

May 31, 2024

Ms. Kim Dobbs  
City of Lavon  
PO Box 340  
Lavon, TX 75166

Re: Trails of Lavon, Phase 2, Block F Replat  
Review

Dear Ms. Dobbs:

As requested, we have reviewed the Replat dated May 24, 2024 as prepared by Kimley Horn for the above referenced property. Additional comments have been provided by the City Planners. These comments should be considered as additional comments. Our comments are as follows:

1. The purpose of this Replat is to modify Lot 73, Block F, resulting in two (2) lots.
2. The drawing shows a temporary construction easement adjacent to a BCSUD easement. This temporary easement has expired (per the recorded deed) and should be removed from the drawing.

This concludes our review of the above-referenced Replat. **We recommend APPROVAL of the Replat, subject to satisfactorily addressing the above items.**

The review conducted by FMI was for the limited purpose of code and ordinance compliance review for the exclusive benefit of the City of Lavon. The above referenced documents were not reviewed as to their quality or for errors on the part of the surveyor or engineer.

If there are any questions, please contact me at 214-503-0555 x115 or by email at [mdhill@fmi-dallas.com](mailto:mdhill@fmi-dallas.com).

Sincerely,  
FREEMAN-MILLICAN, INC.



Mark D. Hill, P.E.  
Consulting City Engineer

Cc: David Carter, Mike Jones, Danny Anthony

F:\17024 - LAV General Servies\9 - Review\Trails of Lavon\Phase 2\Trails of Lavon, Phase 2A – Replat - Rev 0.docx



# CITY OF LAVON

## Agenda Brief

MEETING: June 4, 2024

ITEM: 7 - A

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**Item:**

Discussion and action regarding the second of two readings of Resolution No. 2024-05-04 authorizing the Lavon Economic Development Corporation authorizing the Lavon Economic Development Corporation to expend funds for one or more projects to assist in the promotion of new and expanded business development in Lavon along School Road, not to exceed \$150,000.00 for the cost of the projects and providing an effective date.

**Background:**

On March 11, 2024, the Board of Directors of the Lavon Economic Development Corporation (LEDC) conducted a public hearing and voted to proceed with one or more projects to assist in the promotion of new and expanded business development in Lavon along School Road.

The Project may include costs for the acquisition of lands, buildings, equipment, facilities and improvements and related necessary costs for the design, construction, renovation, equipping, improving, maintenance and operation of the land, buildings, equipment facilities and improvements.

Public Notice regarding the proposed project was published in the April 17, 2024 edition of The Wylie News.

The Local Government Code provides that a Type B economic development corporation may undertake a project with the City Council's approval.

***Code Excerpt:***

**TEXAS LOCAL GOVERNMENT CODE**

**Sec. 505.158. PROJECTS RELATED TO BUSINESS DEVELOPMENT IN CERTAIN SMALL MUNICIPALITIES.**

(a) For a Type B corporation authorized to be created by a municipality with a population of 20,000 or less, "project" also includes the land, buildings, equipment, facilities, expenditures, targeted infrastructure, and improvements found by the corporation's board of directors to promote new or expanded business development.

(b) A Type B corporation may not undertake a project authorized by this section that requires an expenditure of more than \$10,000 until the governing body of the corporation's authorizing municipality adopts a resolution authorizing the project after giving the resolution at least two separate readings.

**Financial Implications:**

The LEDC has appropriated funds for the project in the Annual Budget. If approved and appropriate, a proposed budget amendment will be prepared.

***Staff Notes:***

The City Council approved the first of two readings of the resolution on May 21, 2024. Approval of the second reading is recommended.

**Attachments:** Proposed Resolution

**CITY OF LAVON, TEXAS**  
**RESOLUTION NO. 2024-05-04**

LEDC Project(s) to assist in promotion of new/expanded business development along School Road.

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS AUTHORIZING THE LAVON ECONOMIC DEVELOPMENT CORPORATION TO EXPEND FUNDS FOR ONE OR MORE PROJECTS TO ASSIST IN THE PROMOTION OF NEW AND EXPANDED BUSINESS DEVELOPMENT IN LAVON ALONG SCHOOL ROAD, NOT TO EXCEED \$150,000.00 FOR THE COST OF THE PROJECTS AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, on March 11, 2024, the Board of Directors of the Lavon Economic Development Corporation (LEDC) conducted a public hearing and voted to proceed with one or more projects to assist in the promotion of new and expanded business development in Lavon along School Road; and

**WHEREAS**, the Texas Local Government Code, Section 505.158 establishes the authority for the LEDC to undertake certain projects with the City Council of the City of Lavon’s approval; and

**WHEREAS**, the Project may include costs for the acquisition of lands, buildings, equipment, facilities and improvements and related necessary costs for the design, construction, renovation, equipping, improving, maintenance and operation of the land, buildings, equipment facilities and improvements; and

**WHEREAS**, this project assists in the promotion of new and expanded business development in Lavon and the City Council finds that approving the Project serves the best interests of the City, and the public health, safety and welfare of the City.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS, THAT:**

**SECTION 1.** That the City Council of the City of Lavon does hereby approve and authorize the Lavon Economic Development Corporation to expend funds for one or more projects to assist in the promotion of new and expanded business development in Lavon along School Road, such projects not to exceed \$150,000.00.

**SECTION 2.** That this resolution shall take effect from and after the date of the second reading.

**FIRST READING: May 21, 2024                      SECOND READING: June 4, 2024**

**DULY PASSED AND APPROVED** by the City Council of the City of Lavon, Texas on the 4<sup>th</sup> day of June 2024.

\_\_\_\_\_  
Vicki Sanson, Mayor

ATTEST:

\_\_\_\_\_  
Rae Norton, City Secretary

## NOTICE OF TYPE B PROJECTS

### City of Lavon Economic Development Corporation (Lavon EDC)

NOTICE IS HEREBY GIVEN THAT, in accordance with the Texas Development Corporation Act, the Lavon EDC proposes the use of sales and use tax proceeds within the Lavon EDC annual budget to develop and/or fund the eligible costs of one or more project(s) to assist in the promotion of new and expanded business development in Lavon along School Road. The project(s) being considered may include costs for the acquisition of buildings, equipment, facilities, and improvements, and related necessary costs for the design, construction, renovation, equipping, improving, maintenance, and operation of the land, buildings, equipment, facilities, and improvements, and any other expenditures that the board finds are appropriate to accomplish the objectives of the project(s). It is estimated that the cost of such project(s) will not exceed \$150,000, but this amount is subject to change as the project(s) progress.

This notice shall constitute notice of one or more Type B project(s) pursuant to Texas Local Gov't Code Section 505.160. Information on any public hearing concerning the above project(s), if required, will be noticed by agenda and available on the website of the Lavon EDC in accordance with the Texas Open Meetings Act.

Kay Wright, President  
Lavon EDC

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Published 04-17-2024, The Wylie News



## CITY OF LAVON Agenda Brief

MEETING: June 4, 2024

ITEM: 7 - B

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**Item:**

Public hearing, discussion, and action regarding an application from Atmos Energy for a conditional use permit to construct a regulator station to provide gas to the Trails of Lavon subdivision at Trails of Lavon, Phase 3 Addition, Block CC, Lot 28X east of the intersection of Lavon Trail Parkway and Yucca Ave., previously labeled Cedar Ave., 790 Lavon Trail Parkway, Lavon, Collin County, Texas (CCAD Property ID 1249928).

- 1) Presentation of proposed application.
- 2) Open and continue the **PUBLIC HEARING** to receive comments regarding the proposed application to the meeting beginning at 6:30 p.m. on July 2, 2024.

**Background:**

To provide gas service to the residents of the Trails of Lavon and potential future customers, Atmos Energy Corporation constructed a regulator station near the Atmos pipeline easement on open space common area Block CC, Lot 28X in the Trails of Lavon, Phase 3 Addition.

Because such a facility is not addressed in the Planned Development District regulations, the underlying zoning regulations provide guidance regarding the conditional use.

***Code Excerpt***

**CITY OF LAVON – CODE OF ORDINANCES  
SEC. 9.03.114 SINGLE FAMILY – 4 (SF-4)**

**(c) Conditional Uses**

**(6) Franchise holding facilities and utilities holding a franchise under authorization of the City**

The City became aware of the facility after it was constructed when Atmos contacted the City regarding a driveway permit. To comply with the zoning requirements, Atmos requested a conditional use permit (CUP), and is preparing a site plan and landscape plan as directed. The notice of the public hearing for the CUP was published, and notices were sent to neighboring property owners.

The items necessary to support the applications have not been submitted. Because of the public hearing notices, it is recommended that the public hearing be opened and continued to July 2, 2024.

Consideration of the site plan and landscape plan have been deferred to the June 25, 2024 Planning and Zoning Commission meeting.

***Planning and Zoning Commission Report:***

**The public hearing was opened and continued to June 25, 2024.**

**No action was taken by the Planning and Zoning Commission.**

***Staff Notes:***

No action is recommended.

**Attachments:** 1. Application  
2. Location Exhibits



# CITY OF LAVON

120 School Road, P.O. Box 340, Lavon, TX 75166  
(972) 843-4220  
[cityhall@lavontx.gov](mailto:cityhall@lavontx.gov)

## APPLICATION FOR CONDITIONAL USE PERMIT (CUP)

Atmos Energy \_\_\_\_\_ 4/29/2024 \_\_\_\_\_  
Applicant Name Date

Patrick McKenzie \_\_\_\_\_ 972-360-4428 \_\_\_\_\_  
Representative, Agent or Owner Phone

Atmos Energy Corp. \_\_\_\_\_ patrick.mckenzie@atmosenergy.com \_\_\_\_\_  
Company Email address

5420 Lyndon B Johnson Fwy \_\_\_\_\_ Dallas, TX 75240 \_\_\_\_\_  
Street City, State, Zip

\_\_\_\_\_  
Address and Location of Property

Block CC, Lot 28X \_\_\_\_\_  
Legal Description of Property

Existing Zoning: \_\_\_\_\_

REASON FOR REQUEST (Include the type of conditional use requested, dimensions, materials and elevations. Attach a separate sheet if necessary and include supporting documentation.)

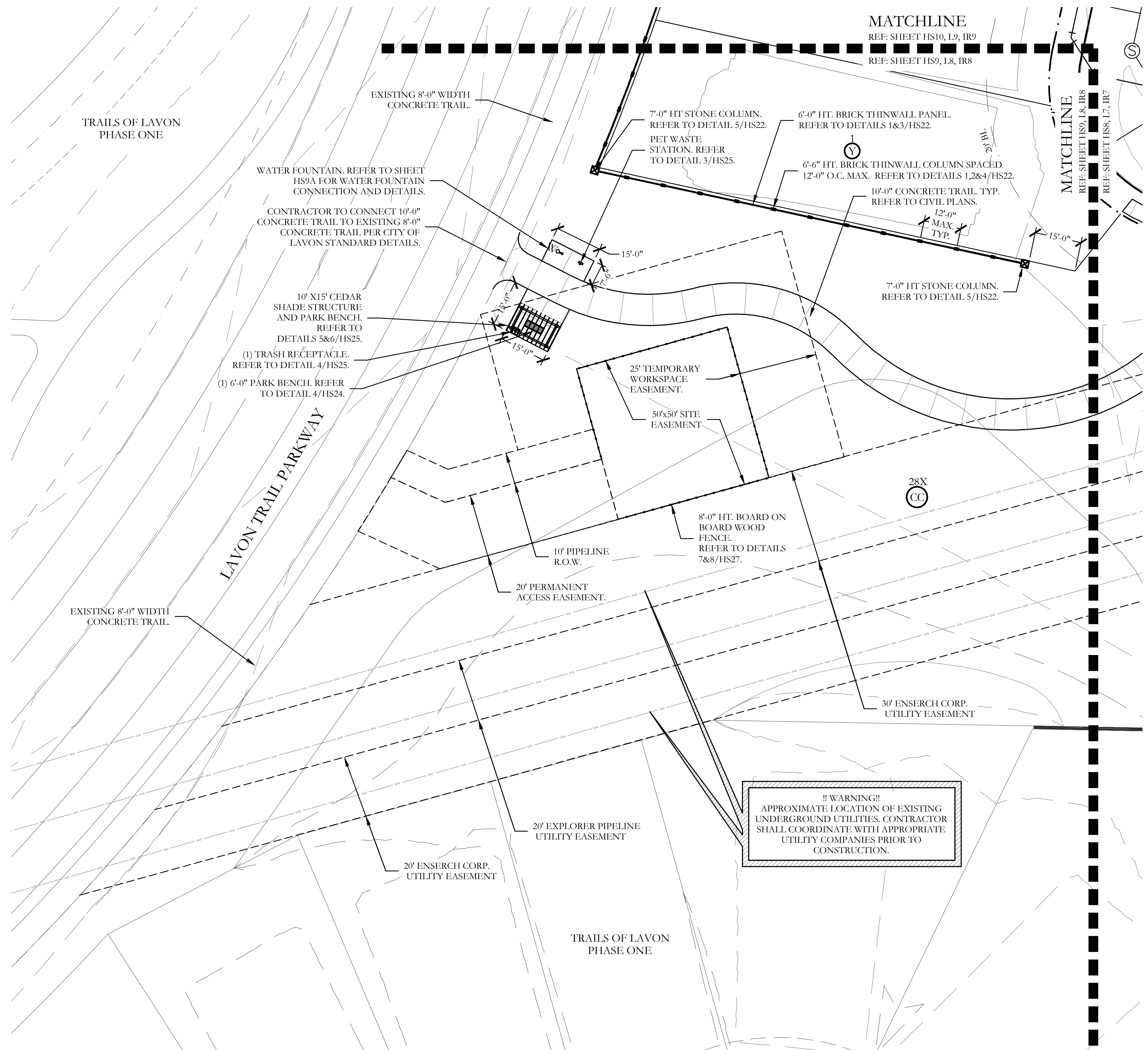
Natural gas station necessary to provide natural gas to nearby subdivision.

Signature of Applicant or Representative: Patrick McKenzie \_\_\_\_\_

### For Office Use Only

Date Received: \_\_\_\_\_ Date Paid: \_\_\_\_\_ Fee Paid: \_\_\_\_\_

Next P & Z Meeting: \_\_\_\_\_ Next City Council Meeting: \_\_\_\_\_

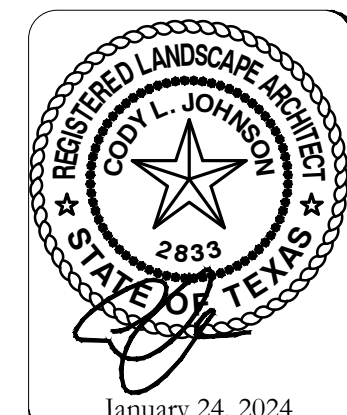


### HARDSCAPE LEGEND

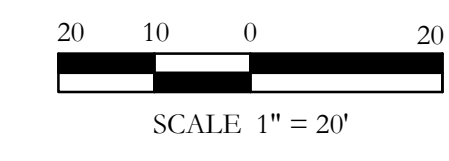
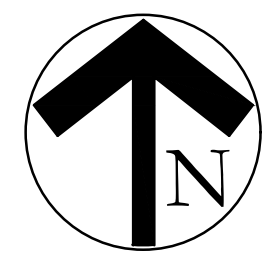
	7'-0" HT. SECONDARY ENTRY SIGN WALL ATOP OF RETAINING WALL. REFER TO DETAILS 1,2,3&4/HS20.
	9'-0" HT. BOARD FORMED LOGO COLUMN. REFER TO DETAILS 1&2/HS21.
	6'-0" HT. BRICK THINWALL. REFER TO DETAILS 1,2,3&4/HS22.
	7'-0" HT. STONE COLUMN. REFER TO DETAIL 5/HS22.
	6'-0" HT. BRICK THINWALL ATOP RETAINING WALL. REFER TO DETAILS 1,3,4&5/HS23.
	7'-0" HT. STONE COLUMN ATOP OF RETAINING WALL. REFER TO DETAIL 2/HS23.
	8'-0" HT. BOARD ON BOARD WOOD FENCE. REFER TO DETAILS 7&8/HS27.
	MAGLIN PARK TABLE. REFER TO DETAIL 3/HS24.
	6'-0" PARK BENCH. REFER TO DETAIL 4/HS24.
	WATER FOUNTAIN. REFER TO DETAIL 1&2/HS25.
	PET WASTE STATION. REFER TO DETAIL 3/HS25.
	TRASH RECEPTACLE. REFER TO DETAIL 4/HS25.

NOTE: REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.

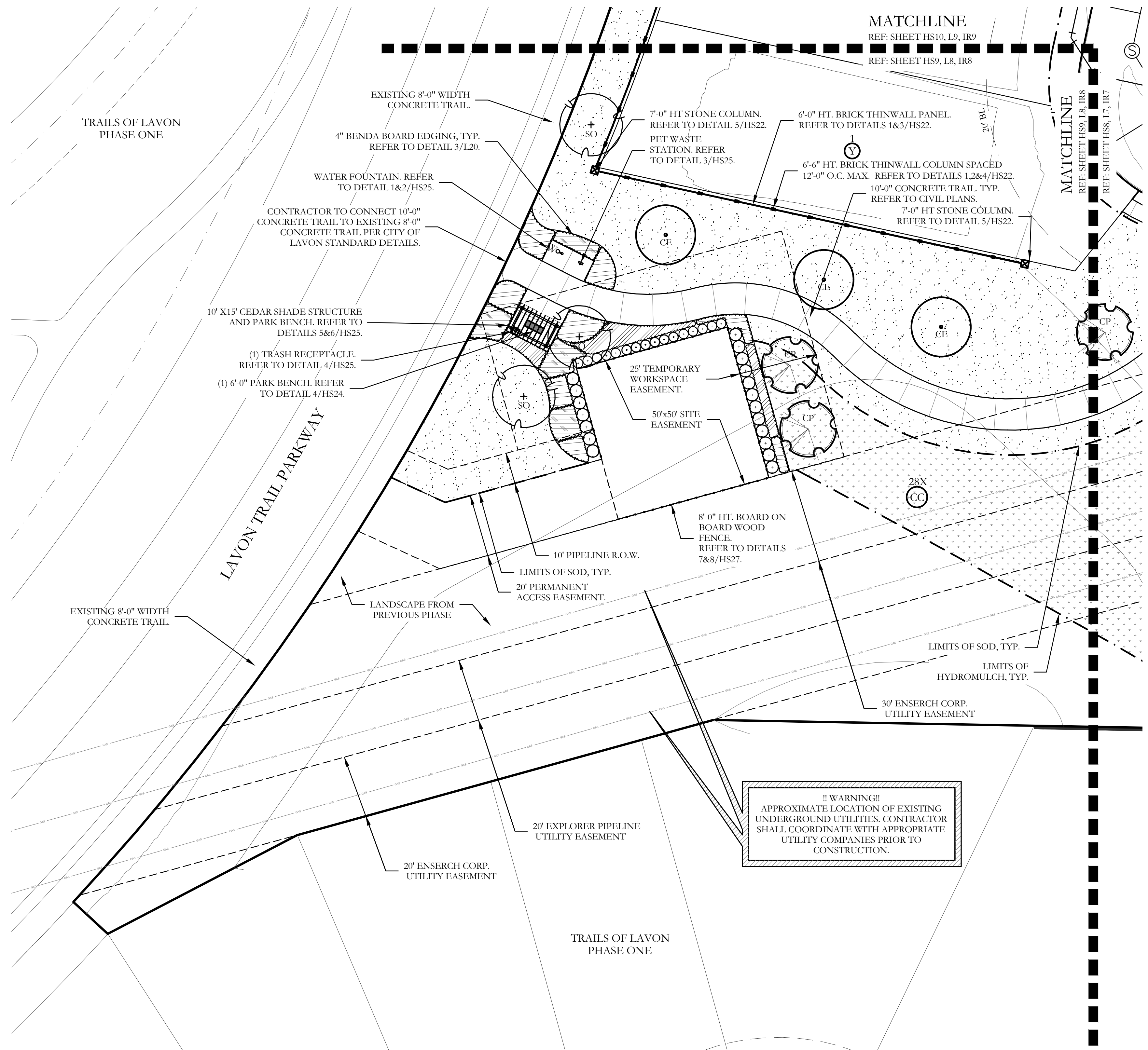
**!! WARNING !!**  
 APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.



January 24, 2024

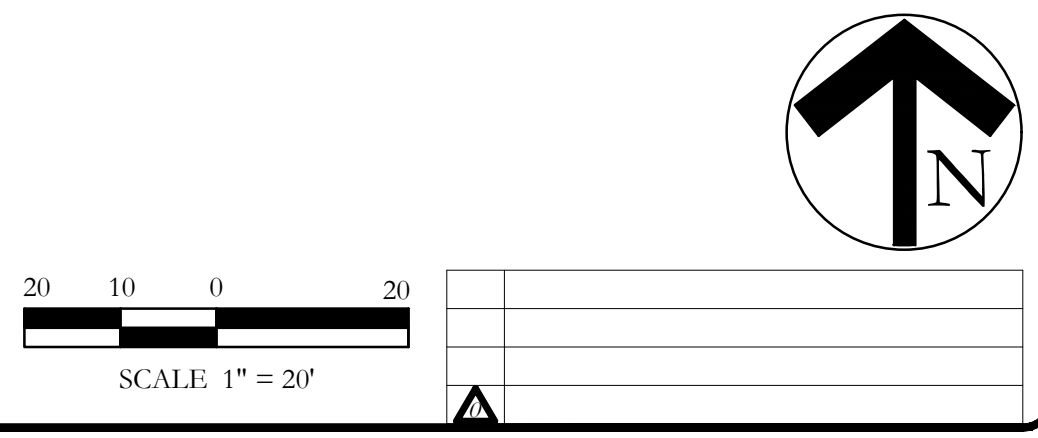
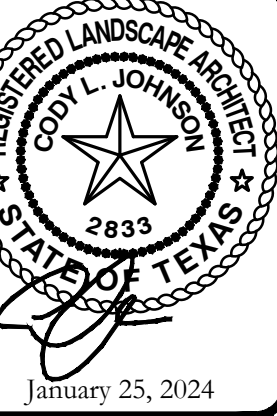


SCALE: 1" = 20'  
One Inch  
JVC No MTH024D



**!! WARNING !!**  
 APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX AGNUS-CASTUS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		SOFT LEAF YUCCA	YUCCA RECURVIFOLIA	7 GALLON	48" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		SPINELESS PRICKLY PEAR	OPUNTIA ELLISIANA	3 GALLON	36" O.C.
		'LITTLE SPIRE' RUSSIAN SAGE	PEROVSKIA 'LITTLE SPIRE'	3 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX BY NATIVE AMERICAN SEED COMPANY	N/A	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		TEXAS RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	



**IRRIGATION LEGEND AND SCHEDULE**

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE
C	AUTOMATIC CONTROLLER	HUNTER	REFER TO PLANS	N/A
D	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"
	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A
	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A
	TEMPORARY IRRIGATION	N/A	N/A	N/A
	REMOTE CONTROL VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP100, MP2000, MP3000
	4" POP UP MP ROTATOR CORNER STRIP	HUNTER	STRIP SERIES	MPLC515 IVORY MPCS515 COPPER MPS530 BROWN
M	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE
	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE
I	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE
Y	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE
M	MASTER VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. PULL WIRE INS SLEEVE	REFER TO PLAN FOR SIZE
	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE
	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE

PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER  
 VALVE SIZE IN INCHES  
 GALLONS PER MINUTE, PER VALVE

**REFER TO SHEET IR19 FOR FULL IRRIGATION LEGEND AND SCHEDULE**

NOTE:  
 ALL LATERAL LINES SHALL BE 3/4" CLASS 200 PVC UNLESS OTHERWISE NOTED ON PLANS.

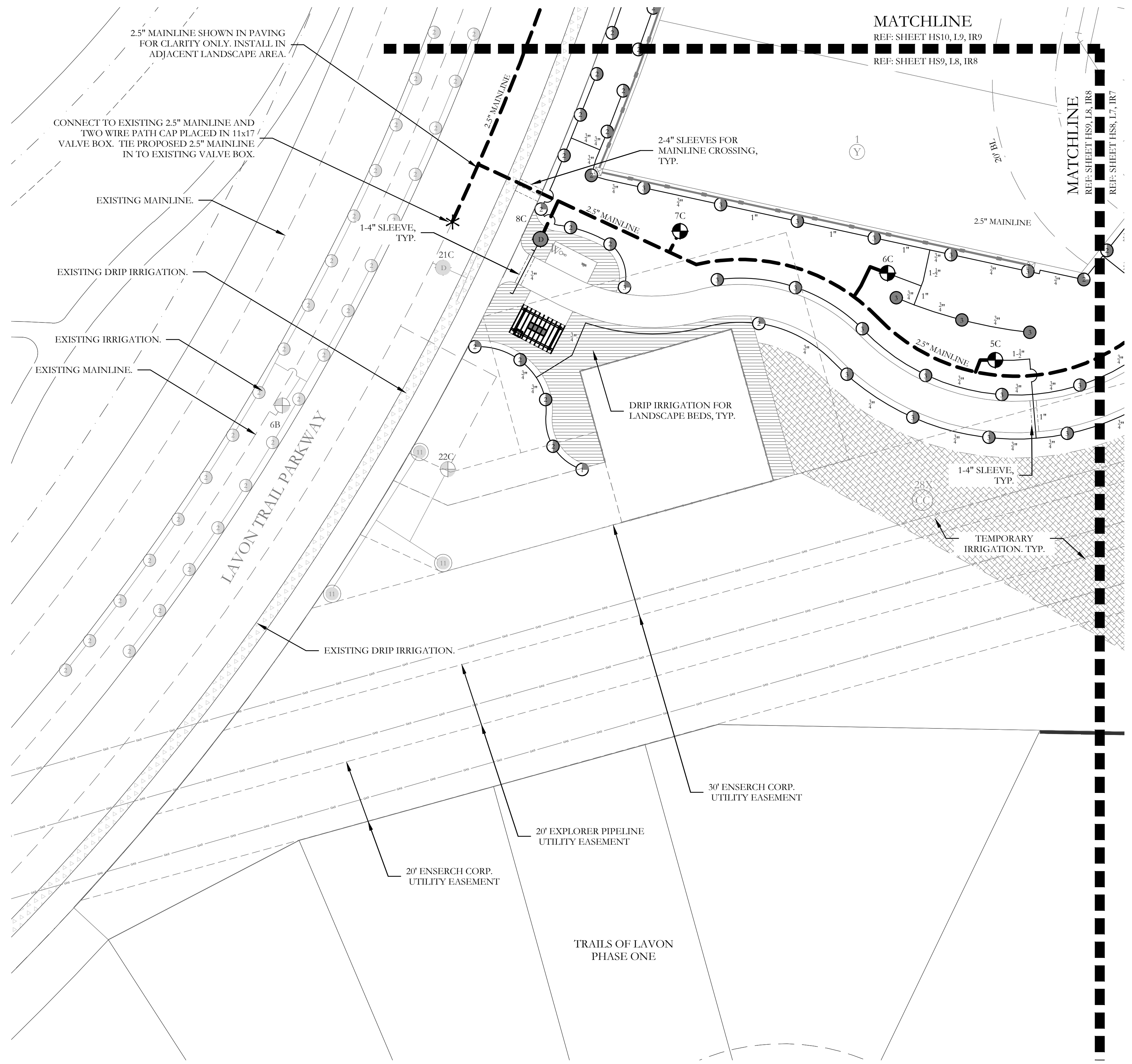
**VALVE LEGEND**

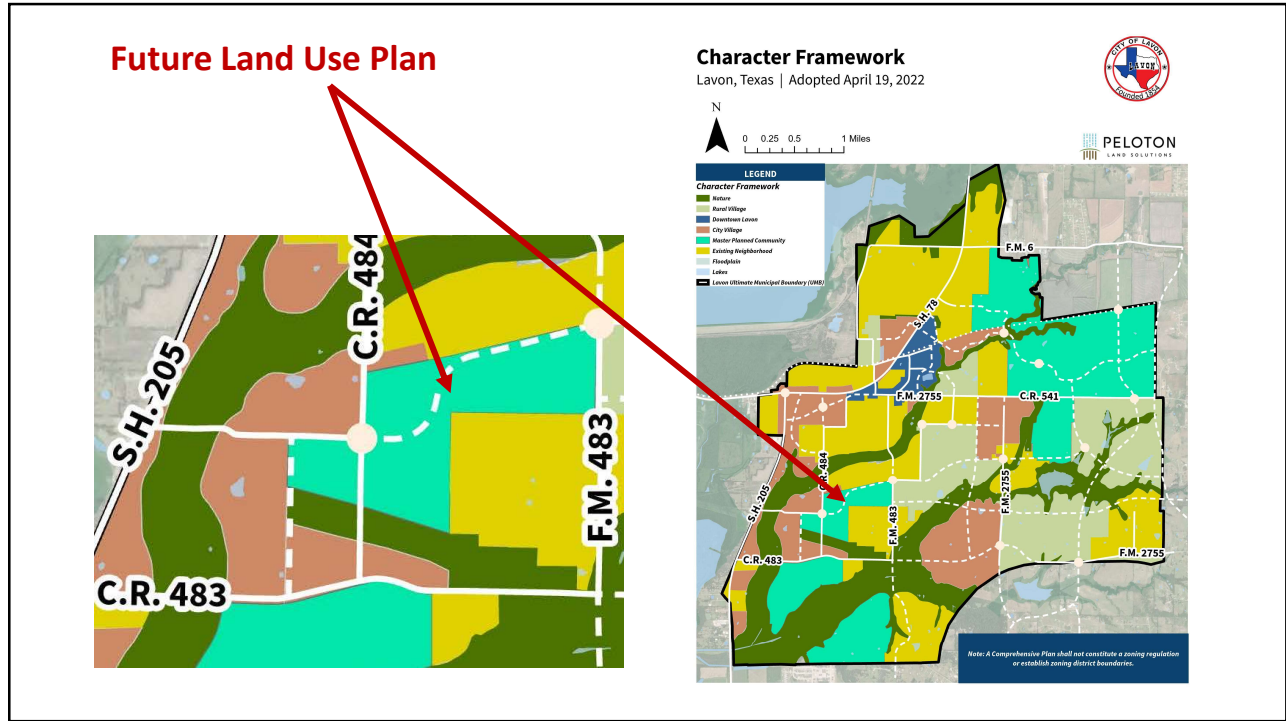
1A DRIP 4.07	2A 1" V 8.89	3A DRIP 2.16	4A 1" V 15.50	5A DRIP 6.36	6A 1" V 14.88	7A 1" V 12.46	8A 1" V 11.96	9A OPEN <20.00	10A DRIP 6.35	11A 1" V 10.19	12A DRIP 6.86
1B DRIP 2.47	2B 1.5" V 23.19	3B 1.5" V 21.65	4B DRIP 2.47								
1C DRIP 14.34	2C DRIP 14.34	3C DRIP 14.34	4C DRIP 1.27	5C 1.5" V 29.86	6C 1.5" V 33.39	7C OPEN <20.00	8C DRIP 8.99	9C 1.5" V 24.64	10C 1.5" V 23.96	11C DRIP 4.49	12C DRIP 5.38
13C DRIP 14.90	14C DRIP 4.49										
1D DRIP 13.89	2D 1.5" V 36.78	3D DRIP 13.89									
1E DRIP 2.47	2E 1" V 19.34	3E 1" V 19.34	4E OPEN <20.00	5E DRIP 2.79	6E DRIP 2.47	7E 1" V 17.80	8E 1" V 18.48	9E 1" V 19.34	10E OPEN <20.00	11E 1" V 19.34	12E 1" V 19.34
13E DRIP 2.16											
1F 1" V 15.84	2F DRIP 15.23	3F 2" V 54.08	4F DRIP 4.49	5F DRIP 15.23	6F DRIP 14.90	7F DRIP 4.49	8F OPEN <20.00	9F 1.5" V 32.43	10F DRIP 14.90	11F 1.5" V 34.73	12F 1.5" V 35.71
13F DRIP 14.90	14F 1.5" V 31.66	15F DRIP 16.26	16F OPEN <20.00	17F 1.5" V 48.60	18F 1.5" V 49.28	19F DRIP 16.26	20F DRIP 16.26	21F 1.5" V 49.28	22F OPEN <20.00	23F 1" V 16.26	24F DRIP 16.26
25F 2" V 51.19	26F DRIP 2.16	27F 2" V 50.94	28F DRIP 15.23	29F OPEN <20.00	30F DRIP 42.44	31F DRIP 15.23	32F 1" V 1.68	33F 1.5" V 42.72	34F OPEN <20.00		
1G OPEN <20.00	2G 1" V 6.22	3G DRIP 13.07	4G DRIP 4.49	5G DRIP 1.88	6G DRIP 16.44	7G OPEN <20.00	8G DRIP 17.10	9G 1.5" V 49.89	10G DRIP 1.14	11G 2" V 50.53	12G OPEN <20.00
13G 1.5" V 20.26	14G DRIP 0.68	15G DRIP 17.10	16G DRIP 17.68	17G 1.5" V 41.18	18G OPEN <20.00						

**TEMPORARY IRRIGATION NOTES**

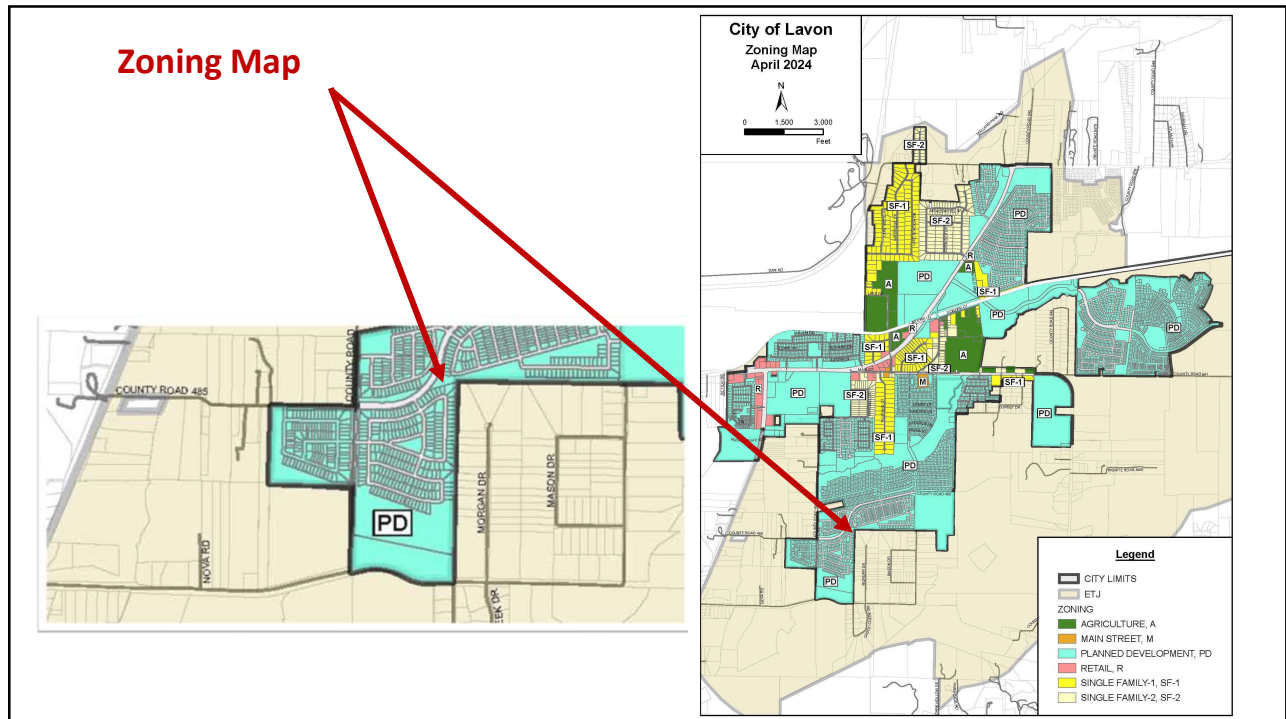
ALL AREAS OF NATIVE TRAIL MIX NOT RECEIVING FULL COVERAGE, FROM THE UNDERGROUND PERMANENT IRRIGATION PROPOSED, SHALL RECEIVE TEMPORARY IRRIGATION, FOR A MINIMUM OF 60 DAYS OR UNTIL ESTABLISHMENT. CONTRACTOR TO VERIFY WITH OWNER ON TEMPORARY IRRIGATION METHODS AND APPLICATIONS PRIOR TO INSTALLATION.

ZONE VALVES LABELED AS "OPEN" ARE INTENDED FOR THE USE OF SUPPLYING HUNTER AFB-ADJ TREE BUBBLERS ON EACH PROPOSED TREE. IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT THESE ZONES DO NOT EXCEED 20 GALLONS PER MINUTE. THE IRRIGATION CONTRACTOR SHALL STAKE EACH TREE BUBBLER HEAD LOCATION AND RECEIVE APPROVAL FROM THE OWNER AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



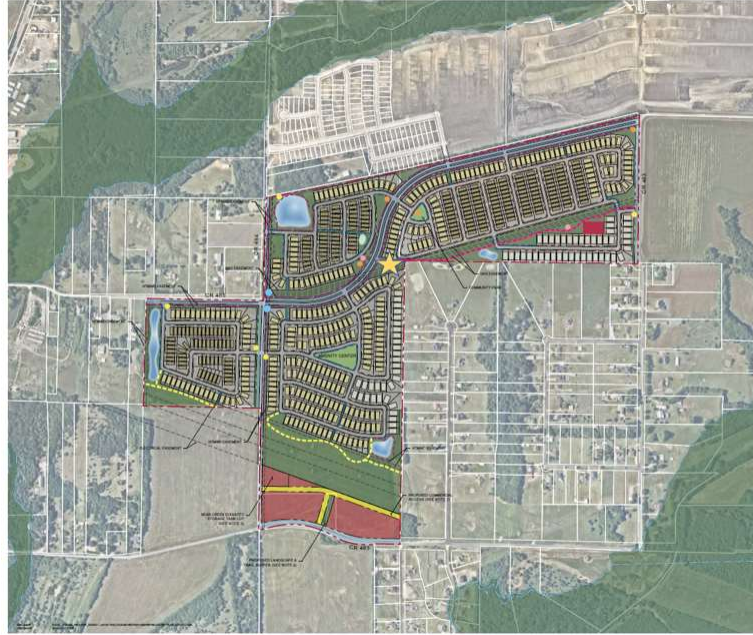


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21

# Trails of Lavon Development Plan



Land Use Summary	
Residential (Single-Family) Right of Way	12.8
Residential (Single-Family) Right of Way	12.8
Community Center/Community Park	1.7
Open Space (Parkland)	200.0
Residential (Lot) / Residential Right of Way	121.9
<b>Total</b>	<b>259.2</b>

Open Space Summary	
Open Space (Parkland) & Active Open	200.0
Open Space (Parkland) Right of Way	200.0
<b>Total Open Space</b>	<b>200.0%</b>

Lot Type Summary	
Lot 1 (100'	100
Lot 2 (100'	100
Lot 3 (100'	75
<b>Total</b>	<b>275</b>

Density Summary (Units per Acre)	
Residential (Single-Family)	8.2
Residential (Lot)	8.4

**LEGEND**

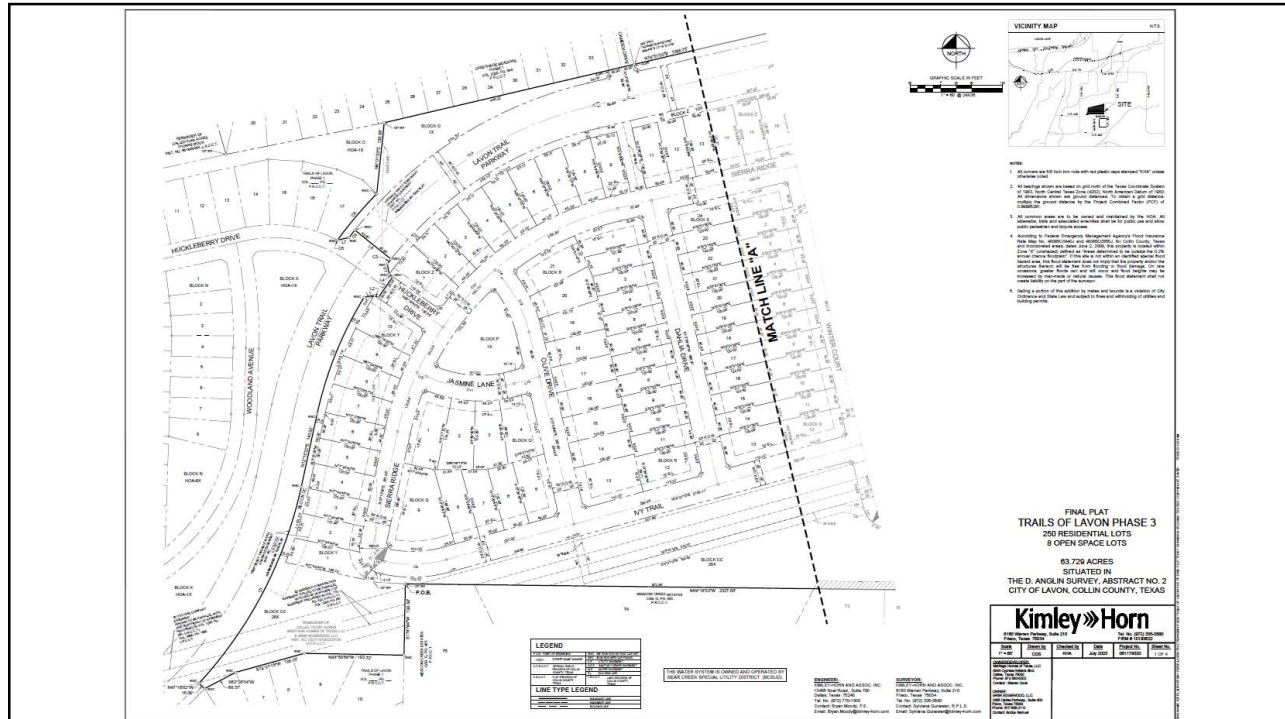
- Residential (Single-Family) Right of Way
- Residential (Single-Family) Right of Way
- Community Center/Community Park
- Open Space (Parkland)
- Residential (Lot) / Residential Right of Way
- Lot 1 (100')
- Lot 2 (100')
- Lot 3 (100')
- Water
- Utility
- Other

**NOTES**

1. ACCESS VIA PUBLIC R.O.W. OR FIRE LANE SHALL BE PROVIDED THROUGH COMMERCIAL TRAIL TO ALL LOTS. ACCESS TO ALL LOTS SHALL BE PROVIDED THROUGH COMMERCIAL TRAIL TO ALL LOTS. ACCESS TO ALL LOTS SHALL BE PROVIDED THROUGH COMMERCIAL TRAIL TO ALL LOTS.
2. ACCESS TO ALL LOTS SHALL BE PROVIDED THROUGH COMMERCIAL TRAIL TO ALL LOTS. ACCESS TO ALL LOTS SHALL BE PROVIDED THROUGH COMMERCIAL TRAIL TO ALL LOTS.
3. THE AREA UNDER DEVELOPMENT SHALL BE SUBJECT TO CITY REVIEW AND APPROVAL OF ALL APPLICABLE ORDINANCES AND REGULATIONS. ALL APPLICABLE ORDINANCES AND REGULATIONS SHALL BE OBTAINED BY THE DEVELOPER PRIOR TO COMMENCING CONSTRUCTION.
4. THE TRAILS AND SIDEWALKS SHOWN HEREON ARE THOSE THAT SHALL BE CONSTRUCTED AT THE CONSTRUCTION OF THE TRAILS AND SHALL BE SUBJECT TO CITY REVIEW AND APPROVAL OF ALL APPLICABLE ORDINANCES AND REGULATIONS. ALL APPLICABLE ORDINANCES AND REGULATIONS SHALL BE OBTAINED BY THE DEVELOPER PRIOR TO COMMENCING CONSTRUCTION.

**Exhibit B  
CONCEPT PLAN  
Trails of Lavon**  
Lavon, Texas  
September 2021  
**Kimley»Horn**







# CITY OF LAVON

## Agenda Brief

**MEETING: June 4, 2024**

**ITEM: 7 – C**

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**Item:**

Public Hearing, discussion, and action regarding amendment to Article 9.01 of the City of Lavon Code of Ordinances – Public Works Construction, Section 9.01.001 (a)(2) Adoption of Standards Subsection to update and replace the City’s Standard Construction Details.

- 1) Presentation of proposed amendment.
- 2) **PUBLIC HEARING** to receive comments regarding the proposed amendment.
- 3) Discussion and action regarding the proposed amendment and accompanying Ordinance No. **2024-06-01**.

**Background:**

To ensure high quality standardized public works construction, the City Council adopted Standard Construction Details for infrastructure construction in 2017. Categories covered by the Standard Construction Details include:

- General Notes
- Storm Sewer
- Streets
- Paving
- Sidewalk, Trail, Driveway, and Alley
- Sanitary Sewer
- Miscellaneous

Since adoption, the Standard Construction Details have been updated to provide clarification and address issues as they may arise in order to remain effective and relevant.

The City Engineer, in coordination with the Infrastructure Inspector and Director of Public Works, has prepared an updated set of Standard Construction Details to clearly conform to adopted codes, clarify construction practices and procedures, and provide additional guidance on frequently asked questions.

***Code Excerpt***

**City of Lavon Code of Ordinances**  
**Chapter 9 Planning and Development Regulations**  
**Sec. 9.01.001 Public Works Construction**

(a) Adoption of standards.

(2) The city council hereby adopts the standard construction details maintained on file in the offices of the city (hereinafter referred to as “standards”).

The proposed amendment provides clarity and consistency in the implementation of the code requirements and construction best practices.

*Planning and Zoning Commission Report:*

**MOTION: RECOMMEND APPROVAL OF AN AMENDMENT TO ARTICLE 9.01 OF THE CITY OF LAVON CODE OF ORDINANCES – PUBLIC WORKS CONSTRUCTION, SECTION 9.01.001 (A)(2) ADOPTION OF STANDARDS SUBSECTION TO UPDATE AND REPLACE THE CITY’S STANDARD CONSTRUCTION DETAILS, WITH THE POSSIBLE ADDITION OF A DETAIL ADDRESSING PLANTING RELATED TO EROSION CONTROL.**

MOTION MADE: TIEGS  
SECONDED: COX  
APPROVED: UNANIMOUS (Absent: Nabors, Jacob)

*Staff Notes:*

The City Engineer received information the afternoon of the Planning and Zoning Commission meeting regarding standards for planting for erosion control. The Commission discussed the possibility of including the information in the current draft standards. The City Engineer has advised that subsequent research did not support including the erosion control planting requirements at this time and they have not been included.

Approval of the draft originally presented to the Planning and Zoning Commission without a detail regarding erosion control planting is recommended.

Attachments: 1) Proposed Ordinance and Standard Construction Details

**CITY OF LAVON, TEXAS**  
**ORDINANCE NO. 2024-06-01**

Update to Standard Construction Details

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS AMENDING ARTICLE 9.01 OF THE CITY OF LAVON CODE OF ORDINANCES – PUBLIC WORKS CONSTRUCTION, SECTION 9.01.001 (A)(2) ADOPTION OF STANDARDS SUBSECTION TO UPDATE AND REPLACE THE CITY’S STANDARD CONSTRUCTION DETAILS, PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Lavon, Texas (the “City”) is a home rule municipality; and

**WHEREAS**, Section 51.012 of the Texas Local Government Code authorizes a municipality to adopt ordinances necessary for the government, interest, welfare, or good order of the municipality; and

**WHEREAS**, it is the desire of the City Council of the City to adopt an update to the standardized construction details for public infrastructure to update and replace the City’s Standard Construction Details; and

**WHEREAS**, the City Council finds that adoption of these standards facilitates proper construction standards and inspection activities by the City relating to construction within the City of Lavon, Texas; and

**WHEREAS**, the City Council conducted a public hearing on June 4, 2024 to receive input regarding the proposed update to the Standard Construction Details;

**WHEREAS**, the City Council finds that this Ordinance substantially advances the public health, safety, and general welfare of the citizens of the City, and healthful development of the municipality.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS, THAT:**

Section 1. Incorporation of Recitals. The foregoing recitals hereby are incorporated by reference and made a part hereof as if fully set forth.

Section 2. Amendment to Code of Ordinances. Chapter 9 “Planning and Development Regulations”, Article 9.01 “Public Works Construction”, Section 9.01.001 (a) “Adoption of Standards” (2) of the City’s Code of Ordinances is hereby amended to incorporate the update to the Standard Construction Details as provided in Exhibit A, attached hereto and incorporated herein for all purposes.

Section 3. Severability Clause. It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this Ordinance shall be declared unconstitutional by the

valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences paragraphs, and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph, or section.

Section 4. Savings/Repealing. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

Section 5. Penalty. A violation of any provisions of this article shall be deemed to be a misdemeanor and, upon conviction of such violation, shall be punishable by a fine as provided in section Article 9.02 and Section 1.01.009 of the City of Lavon Code of Ordinances. Each day on which the provisions of this Ordinance are violated shall constitute a separate offense.

Section 6. Open Meeting. It is hereby officially found and determined that the meeting at which this ordinance was passed was open to the public as required by law, and that public notice of the time, place, and purpose of said meeting was given, all as required by Section 551.042, Texas Government Code.

Section 7. Effective Date. This Ordinance shall take effect immediately upon its passage.

**DULY PASSED AND APPROVED** by the City Council of the City of Lavon, Texas, this 6<sup>th</sup> day of June 2024.

\_\_\_\_\_  
Vicki Sanson, Mayor

**ATTEST:**

\_\_\_\_\_  
Rae Norton, City Secretary

**CITY OF LAVON, TEXAS**  
**ORDINANCE NO. 2024-06-01**

**EXHIBIT A**

**STANDARD CONSTRUCTION DETAILS**

# CITY OF LAVON



# STANDARD CONSTRUCTION DETAILS

## INDEX

SHEET NO.	SHEET TITLE
DS-G1	GENERAL NOTES
DS-DR1	STORM SEWER DETAILS
DS-DR2	STORM SEWER DETAILS
DS-PV1	TYPICAL STREET SECTIONS
DS-PV2	TYPICAL STREET SECTIONS
DS-PV3	PAVING DETAILS
DS-PV4	SIDEWALK & TRAIL DETAILS
DS-PV5	SIDEWALK, DRIVEWAY & ALLEY DETAILS
DS-SS1	SANITARY SEWER DETAILS
DS-SS2	SANITARY SEWER DETAILS
DS-M1	MISCELLANEOUS DETAILS

ADOPTED: MAY 2018

ORD. NO.: 2018-05-01

REVISION: 2019-12-01

REVISION: 2024-06-01

REVISION:

**GENERAL NOTES**

1. ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", LATEST EDITION, UNLESS OTHERWISE INCLUDED HEREIN. IN THE EVENT OF CONFLICT, THESE "CITY OF LAVON STANDARD CONSTRUCTION DETAILS" SHALL GOVERN.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES, GAS LINES, TELEPHONE LINES & FIBER LINES, ETC. THE CONTRACTOR SHALL PRESERVE AND PROTECT UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT HIS EXPENSE. ALL DIGGING WILL BE BY HAND, UNLESS UTILITY COMPANY REPRESENTATIVE PERMITS OTHER METHODS.
3. CONTACT PRIOR TO CONSTRUCTION: (800) DIG-TESS AND THE OWNERS UTILITY DEPARTMENT FOR LOCATIONS AND DEPTHS OF EXISTING UTILITIES.
4. ALL WORK SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO APPROVAL OF THE CITY.
5. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES FOR NEW CONSTRUCTION AND DEMOLITION AS INTERPRETED BY THE GOVERNING AUTHORITIES HAVING JURISDICTION IF THE STANDARDS AND CODES CONFLICT WITH ONE ANOTHER, THE MOST STRINGENT SHALL APPLY.
6. TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
7. CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
9. CONTRACTOR MUST KEEP AVAILABLE ONSITE, AT ALL TIMES, APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CITY.
11. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. FAILURE TO DO SO COULD RESULT IN A WORK STOPPAGE, AT THE CITY'S DISCRETION, TO RESOLVE THE ISSUE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
13. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
14. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
15. UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CITY'S RECORDS.
17. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE PROJECT SITE AT THE CONTRACTOR'S EXPENSE. DO NOT USE CITY'S OR OTHER CONTRACTOR'S DUMPSTERS FOR TRASH.
18. CONTRACTOR SHALL APPLY FOR AND PAY FOR PERMITS REQUIRED FOR WORK.
19. CONTRACTOR TO MAINTAIN ROAD INTEGRITY DURING CONSTRUCTION TO ALLOW FOR PUBLIC ACCESS. UPON COMPLETION OF PROJECT, ROAD SHALL BE IN EQUAL TO OR BETTER CONDITION THAN EXISTING.
20. ALL COSTS FOR REPAIR OF DAMAGE TO THE CITY'S PIPELINES, EQUIPMENT AND/OR FACILITIES RESULTING FROM CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
21. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING EXCESS AND WASTE MATERIAL, INCLUDING METHODS OF HANDLING AND DISPOSAL.
22. CONTRACTOR SHALL LOCATE MATERIAL STORAGE AREAS AWAY FROM STORMWATER CONVEYANCE SYSTEMS. PROVIDE PROTECTED STORAGE AREAS FOR FUEL, CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER POTENTIALLY TOXIC MATERIALS.
23. THE CONTRACTOR SHALL ADVISE CITY IMMEDIATELY, VERBALLY AND IN WRITING, OF ANY FUEL OR TOXIC MATERIALS SPILLS WITHIN THE PROJECT/CONSTRUCTION AREA AND THE ACTIONS TO BE TAKEN TO REMEDY THE PROBLEM.
24. THE CONTRACTOR SHALL DISPOSE OF FUELS, HAZARDOUS MATERIALS, AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.
25. OPEN BURNING IS ALLOWED UNLESS A RED FLAG DAY OR BURN BAN IS IN EFFECT, AND IN ACCORDANCE WITH CITY ORDINANCES.
26. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL IN CONSTRUCTION AREA AS REQUIRED.
27. ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (OSHA) AND THE STANDARDS THEREIN AND APPLICABLE STATE AND LOCAL REGULATIONS.
28. CONSTRUCTION MAY NOT BEGIN EARLIER THAN 7:00 A.M. ON WEEKDAYS NOR CONTINUE AFTER 8 P.M. WITHOUT PERMISSION FROM THE CITY OF LAVON. CONSTRUCTION ON SATURDAY MAY NOT BEGIN BEFORE 7:00 A.M. NOR CONTINUE AFTER 8:00 P.M., AND WORK ON SUNDAY AND CITY HOLIDAYS IS PROHIBITED WITHOUT SPECIAL PERMISSION. SATURDAY WORK REQUIRES A MINIMUM 48 HOUR NOTICE.
29. MATERIAL TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY APPROVED AND PAID FOR BY CONTRACTOR. ALL REPORTS TO BE DIRECTLY DISTRIBUTED TO CITY AND CITY ENGINEER.
30. TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ONTO ADJACENT ROADS, DRAINAGE WAYS AND OTHER PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS APPROVED BY THE CITY. STRAW BALES ARE NOT PERMITTED.
31. FINISHED SLOPES SHALL NOT BE STEEPER THAN 4:1 UNLESS OTHERWISE NOTED.
32. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE CONTRACTORS PERFORMANCE OF WORK ON THIS PROJECT.
33. ALL WORK SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS (DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS, APPROVED SUBMITTAL, ETC.) AS APPROVED BY THE CITY. THE CONTRACTOR SHALL HAVE THE LATEST UPDATED VERSION OF THE ABOVE NAMED DOCUMENTS AT THE WORK SITE AT ALL TIMES.
34. CONTRACTOR SHALL SECURE EXCAVATION AT THE END OF EACH DAY.
35. CONTRACTOR SHALL SECURE MATERIALS ON HAND, EQUIPMENT, TOOLS AND ALL OTHER ITEMS ON THE PROJECT. THE CITY SHALL NOT BE RESPONSIBLE FOR DAMAGE OR THEFT OF THESE ITEMS.
36. FIRE LANES SHALL CONFORM TO INTERNATIONAL FIRE CODE AS ADOPTED BY ORDINANCE.

**WASTEWATER GENERAL NOTES**

1. ALL SANITARY SEWER PIPE, 4" TO 15", SHALL BE PVC, ASTM D3034, SDR 26, GREEN IN COLOR.
2. ALL SANITARY SEWER PIPE, 18" - 24", SHALL BE PVC, ASTM F679, SDR 26, GREEN IN COLOR.
3. ALL SANITARY SEWER PIPE, GREATER THAN 24" SHALL BE DETERMINED ON A CASE BY CASE BASIS.
4. ALL MANHOLES, CAST-IN-PLACE OR PRECAST, SHALL BE WATERTIGHT. PIPE PENETRATIONS SHALL HAVE WATERTIGHT CONNECTION AS SHOWN ON THE STANDARD DRAWINGS. ALL NEW CONCRETE MANHOLES AND OTHER WASTEWATER STRUCTURES SHALL INCLUDE AN ADDITIVE TO PROTECT AGAINST MICROBIOLOGICAL INDUCED CORROSION IN HYDROGEN SULFIDE ENVIRONMENTS (CONMICSHIELD® OR EQUAL). FOR EXISTING MANHOLES AND WASTEWATER STRUCTURES, A 100% SOLIDS EPOXY POLYMER PROTECTIVE LINING SHALL BE APPLIED. LINING SHALL BE SPECIFICALLY MANUFACTURED AS A LINING FOR MANHOLES AND WASTEWATER STRUCTURES. LINING SHALL BE MIN 125 MIL DFT
5. USE OF POLYMER CONCRETE MANHOLES SHALL BE DETERMINED ON A CASE-BY-CASE BASIS.
6. ALL MANHOLES TO BE VACUUM TESTED IN ACCORDANCE WITH TCEQ REQUIREMENTS UPON COMPLETION AND BACKFILLING. ALL PIPELINES TO BE MANDREL AND LOW PRESSURE AIR TESTED IN ACCORDANCE WITH TCEQ REQUIREMENTS.
7. ALL PIPELINES SHALL BE COLOR TV INSPECTED PRIOR TO ACCEPTANCE. A COPY OF THE INSPECTION REPORT, INCLUDING ALL VIDEO, SHALL BE PROVIDED TO THE CITY PRIOR TO ACCEPTANCE. TV INSPECTION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY INSPECTOR. ALL WASTEWATER SERVICE LINES SHALL BE TV INSPECTED AFTER INSTALLATION OF DRY UTILITIES. AN ADDITIONAL TV INSPECTION SHALL BE PERFORMED PRIOR TO THE END OF THE 2-YEAR MAINTENANCE PERIOD. IN THE EVENT DEFECTS ARE FOUND DURING ANY TV INSPECTION, THE PIPELINE WILL BE TV INSPECTED AGAIN AFTER REPAIRS.
8. CRUSHED CONCRETE IS NOT ALLOWED FOR EMBEDMENT OR BACKFILL.
9. WORK MAY NOT BE BACKFILLED OR COVERED UNTIL THE CITY HAS INSPECTED IT.
10. NO FLYASH SHALL BE USED WITHIN ANY WASTEWATER STRUCTURE.
11. A 2-WAY OR DOUBLE CLEANOUT OR WYE WITH LONG RADIUS 45 DEGREE BEND SHALL BE LOCATED AT A LOCATION BETWEEN THE PROPERTY LINE (ROW) AND 12" OUTSIDE OF ROW FOR ALL SERVICES. CLEANOUTS ARE NOT ALLOWED TO BE INSTALLED IN DRIVEWAYS OR SIDEWALKS.
12. ALL SANITARY SEWER SERVICE CLEANOUTS SHALL BE INSTALLED A MINIMUM 12" ABOVE FINAL GRADE, WITH A CAP SECURELY INSTALLED.
13. THE CITY INSPECTOR SHALL BE NOTIFIED OF ALL TESTING A MINIMUM OF 24 HOURS IN ADVANCE AND SHALL, AT THE INSPECTOR'S DISCRETION, WITNESS THE TESTS.
14. BACKFILL SHALL BE 8" LIFTS. TESTING OF COMPACTION IN TRENCHES SHALL BE PERFORMED FOR EVERY 250 LINEAR FEET AND FOR STRUCTURES EVERY 30 CUBIC YARDS AT LOCATIONS SPECIFIED BY THE CITY INSPECTOR. ADDITIONAL TESTING MAY BE REQUIRED IF COMPACTION DOES NOT MEET MINIMUM REQUIREMENTS.

15. PRIOR TO ACCEPTANCE OF A WASTEWATER SYSTEM OR FACILITY, ALL PIPELINES AND STRUCTURES ARE TO BE CLEANED OF ALL DEBRIS, SILT, SEDIMENT, TRASH, ETC. CLEANING OF SYSTEM SHALL BE PERFORMED A MINIMUM OF 2 DAYS AND A MAXIMUM OF 5 DAYS PRIOR TO ANY CITY INSPECTION.
16. ALL MANHOLES WITHIN FLOODPLAIN SHALL BE SEALED AND TOP MANHOLE ELEVATION SHALL BE 24" ABOVE NATURAL GROUND. 60" FIBERGLASS MANHOLE MARKERS (2) SHALL BE PLACED ON EITHER SIDE OF MANHOLE. VENTS SHALL BE INSTALLED PER TCEQ REQUIREMENTS AND CITY DETAIL.
17. ALL MANHOLE PENETRATIONS SHALL BE A-LOK OR INTEGRAL RUBBER COUPLING WITH STAINLESS STEEL CLAMPS. GROUTED PENETRATIONS ARE NOT ALLOWED.

**DRAINAGE GENERAL NOTES**

1. ALL STORM SEWER SHALL BE MINIMUM CLASS III RCP.
2. HDPE STORM SEWER MAY BE ALLOWED ON A CASE BY CASE BASIS. HDPE STORM SEWER SHALL MEET ASTM F2306 REQUIREMENTS WITH WATERTIGHT JOINTS WITH SMOOTH WALL INTERIOR.
3. STORM SEWER PIPES SHALL BE A MINIMUM 18" DIAMETER.
4. DRIVEWAY CULVERTS SHALL BE MINIMUM 18" DIAMETER CLASS III RCP PIPE. DRIVEWAY CULVERTS STREETS SHALL HAVE SAFETY END TREATMENTS (SET) HEADWALLS PER THE STANDARD CONSTRUCTION DETAILS.
5. ALL CAST-IN-PLACE CONCRETE SHALL BE MINIMUM 4000 PSI (28 DAY), 6.5 SACK, UNLESS OTHERWISE SPECIFIED.
6. CRUSHED CONCRETE IS NOT ALLOWED FOR EMBEDMENT OR BACKFILL FOR HDPE PIPE. CRUSHED CONCRETE IS ACCEPTABLE FOR RCP.
7. PILOT CHANNEL FOR COUNTRY LANES SHALL BE 3600 PSI CONCRETE, 6" THICK W/#3 BARS @ 18" O.C.E.W.
8. A "NO DUMPING - DRAINS TO CREEK" MARKER SHALL BE INSTALLED ON ALL INLETS. THE MARKER SHALL BE A MINIMUM 4" DIAMETER.
9. NO FLYASH SHALL BE USED WITHIN ANY DRAINAGE STRUCTURE.
10. ALL OPEN DITCHES SHALL HAVE A MAXIMUM 3:1 SIDE SLOPE.
13. BACKFILL SHALL BE 8" LIFTS. TESTING OF COMPACTION IN TRENCHES SHALL BE PERFORMED FOR EVERY 250 LINEAR FEET AND FOR STRUCTURES EVERY 30 CUBIC YARDS AT LOCATIONS SPECIFIED BY THE CITY INSPECTOR. ADDITIONAL TESTING MAY BE REQUIRED IF COMPACTION DOES NOT MEET MINIMUM REQUIREMENTS.
14. PRIOR TO ACCEPTANCE OF A STORMWATER SYSTEM OR FACILITY, ALL PIPELINES AND STRUCTURES ARE TO BE CLEANED OF ALL DEBRIS, SILT, SEDIMENT, TRASH, ETC. CLEANING OF SYSTEM SHALL BE PERFORMED A MINIMUM OF 2 DAYS AND A MAXIMUM OF 5 DAYS PRIOR TO ANY CITY INSPECTION.
15. ALL STORMWATER PIPE TO BE COLOR TV INSPECTED PRIOR TO FINAL ACCEPTANCE. IN THE EVENT DEFECTS ARE FOUND DURING ANY TV INSPECTION, THE PIPELINE WILL BE TV INSPECTED AGAIN AFTER REPAIRS.
16. ALL PONDS SHALL MEET ALL EROSION CONTROL REQUIREMENTS.

**PAVING GENERAL NOTES**

1. ALL PAVEMENT (STREETS, PARKING, FIRE LANE) SHALL BE MINIMUM 3600 PSI (28 DAY), 6 SACK CONCRETE FOR MACHINE POUR AND 6.5 SACK FOR HAND POUR. ALL ALLEY PAVING TO BE MINIMUM 4000 PSI (28 DAY), 6.5 SACK CONCRETE.
2. ALL SIDEWALKS SHALL BE A MINIMUM 3000 PSI (28 DAY) CONCRETE. SIDEWALKS SHALL BE A MINIMUM 4" THICK W/#3 BARS @18" O.C.E.W.
3. ALL REINFORCING STEEL SHALL BE TIED AND PLACED UPON PLASTIC CHAIRS. BAR LAPS SHALL BE A MINIMUM 30 DIAMETERS. STEEL PLACEMENT SHALL OCCUR AFTER ACCEPTANCE OF THE SUBGRADE PREPARATION.
4. FLY ASH MAY BE USED FOR CONCRETE PAVEMENT INSTALLED BY MACHINE POUR. FLY ASH SHALL NOT EXCEED 20% BY WEIGHT PER CUBIC YARD OF CONCRETE.
5. ALL FILL SHALL BE PLACED IN MAXIMUM 8" LIFTS AND MECHANICALLY COMPACTED. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT EVERY 300 LINEAR FEET OR AS DIRECTED BY THE CITY INSPECTOR. COPIES OF DENSITY TESTS SHALL BE PROVIDED TO THE CITY.
6. ALL EXISTING PAVEMENT SHALL BE SAWCUT PRIOR TO CONNECTION TO NEW PAVEMENT (STREET, DRIVEWAYS, ETC.).
7. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES UNLESS PRIOR AUTHORIZATION FOR CLOSURE, DETOUR, ETC. IS RECEIVED FROM THE CITY.
8. ALL PAVING PROJECTS (STREETS, DRIVEWAYS, FIRE LANES, PARKING AREAS, ETC.) CAN BE OPENED TO PARKING AND TRAFFIC AFTER CONCRETE STRENGTH REACHES 75% OF DESIGN STRENGTH, AS EVIDENCED BY TESTING.
9. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SIDEWALKS MEET OR EXCEED THE CURRENT AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND THE TEXAS ACCESSIBILITY STANDARDS (TAS). THE CONTRACTOR SHALL REMOVE AND REPLACE ANY CONSTRUCTED OR INSTALLED ITEMS NOT MEETING THE CURRENT ADAAG AND TAS REQUIREMENTS.
10. A GEOTECHNICAL INVESTIGATION IS REQUIRED FOR ALL PAVEMENT AREAS. THE GEOTECHNICAL INVESTIGATION SHOULD INCLUDE, BUT NOT BE LIMITED TO, LIME SERIES, SUBGRADE COMPACTION/MOISTURE REQUIREMENTS AND PAVEMENT SECTION RECOMMENDATION. LIME STABILIZATION, DENSITY AND MOISTURE LEVELS TO BE BASED UPON RESULTS OF GEOTECHNICAL INVESTIGATION. CITY STANDARDS SHOULD BE CONSIDERED A MINIMUM REQUIREMENT.
11. LIME STABILIZATION SHALL BE MINIMUM 6%. IN LIEU OF LIME STABILIZATION, ADDITIONAL CONCRETE THICKNESS IS ALLOWED IF RECOMMENDED IN THE GEOTECHNICAL INVESTIGATION. ANY ADDITIONAL THICKNESS SHALL BE ADDED TO THE MINIMUM PAVEMENT THICKNESS HEREIN OR THE PAVEMENT SECTION IN THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER. ANY ADDITIONAL THICKNESS SHALL BE NOT LESS THAN 1".
12. PAVEMENT SUBGRADE SHALL BE TESTED EVERY 300 LINEAR FEET OR 250 SQUARE YARDS OF PAVEMENT AREA AT LOCATIONS SPECIFIED BY THE CITY INSPECTOR. MORE FREQUENT TESTING MAY BE REQUIRED IF TESTING SHOWS SUBGRADE DOES NOT MEET SPECIFICATIONS. TESTING SHALL INCLUDE MOISTURE, THICKNESS, FIELD DENSITY AND GRADATION.
13. THE CITY INSPECTOR SHALL BE NOTIFIED OF ALL TESTING A MINIMUM OF 24 HOURS IN ADVANCE AND SHALL, AT THE INSPECTOR'S DISCRETION, WITNESS THE TESTS.

**EROSION CONTROL GENERAL NOTES**

1. ALL EROSION CONTROL MEASURES TO REMAIN IN PLACE AND BE MAINTAINED UNTIL A MINIMUM OF 75% GRASS COVERAGE IS ACHIEVED. EROSION CONTROL SHALL BE REMOVED WHEN 100% COVERAGE IS ACHIEVED.
2. EROSION CONTROL SHALL BE INSTALLED TO PREVENT SOIL/SILT FROM WASHING ONTO AND ACCUMULATING ON PAVED AREAS. FAILURE TO DO SO COULD RESULT IN A WORK STOPPAGE, AT THE CITY'S DISCRETION, TO RESOLVE THE ISSUE.
3. SWPPP IS THE RESPONSIBILITY OF THE CONTRACTOR. THIS INCLUDES ALL REPORTING AND MAINTENANCE OF THE EROSION CONTROL MEASURES.
  - 3.1. ALL SWPPP DOCUMENTS, INCLUDING AN INSPECTION PLAN, SHALL BE PROVIDED TO THE CITY PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  - 3.2. COPIES OF ALL MAINTENANCE REPORTS SHALL BE PROVIDED DIRECTLY TO THE CITY FOR ITS RECORDS.
4. MAINTENANCE SHALL INCLUDE:
  - 4.1. ROUTINE MAINTENANCE:
    - 4.1.1. VEGETATION MANAGEMENT
    - 4.1.2. DEBRIS REMOVAL
    - 4.1.3. MECHANICAL EQUIPMENT CHECK
  - 4.2. NON-ROUTINE MAINTENANCE:
    - 4.2.1. BANK STABILIZATION
    - 4.2.2. SEDIMENT REMOVAL
    - 4.2.3. STRUCTURAL REPAIR AND REPLACEMENT
- 4.3. TESTING AND DISPOSAL OF SEDIMENTS; AND
- 4.4. ALL SPECIFICATIONS AND MAINTENANCE REQUIREMENTS OF PROPRIETARY DEVICES.
- 4.5. MAINTENANCE SHALL BE COMPLETED WITHIN A MINIMUM 48 HOURS AFTER NOTIFICATION BY THE CITY OR SWPPP INSPECTOR. FAILURE TO DO SO COULD RESULT IN A WORK STOPPAGE, AT THE CITY'S DISCRETION, TO RESOLVE THE ISSUE.

**MISCELLANEOUS**

1. FOR THOROUGHFARES WITH MEDIAN, DOUBLE HEAD LIGHTS SHOULD BE INSTALLED WITHIN THE MEDIAN (ONCOR - COBRA STYLE, FEC - VALMONT STYLE). FOR NON-DIVIDED THOROUGHFARES, SINGLE HEAD LIGHTS SHALL BE INSTALLED WITHIN THE PARKWAY. THOROUGHFARE STREET LIGHTS SHALL BE SPACED TO MAINTAIN A 0.9 fc AVERAGE ILLUMINANCE WITH A MINIMUM 0.3 fc ILLUMINANCE AND 3 UNIFORMITY RATIO. LIGHTS SHALL BE MOUNTED ON 30' POLES. LAVON IS A DARK SKY CITY.
2. STREET LIGHTS SHALL BE INSTALLED AT ALL INTERSECTIONS. AT INTERSECTIONS WHERE RIGHT-OF-WAY WIDTH IS 60 FEET OR GREATER, A LIGHT MAY BE REQUIRED ON TWO SIDES TO MAINTAIN REQUIRED ILLUMINANCE THROUGHOUT THE INTERSECTION.
3. ALL MAILBOX CLUSTERS SHALL INCLUDE LIGHTING ON THE RESIDENT SIDE OF THE MAILBOXES. THIS CAN BE PROVIDED BY A STREET LIGHT OR OTHER, SEPARATE LIGHTING.
4. ALL STRIPING AND SYMBOLS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC (TXDOT DMS-8220 AND ITEM 666) OR PAINT (TXDOT DMS-8200 AND ITEM 666). MARKINGS SHALL INCLUDE GLASS BEADS (TXDOT DMS-8290 AND ITEM 666).
5. STREET SIGNS SHALL CONFORM TO CITY STANDARDS. SIGNS SHALL BE MOUNTED SO THE LOWEST SIGN IS A MINIMUM OF 7' ABOVE FINISHED GRADE.

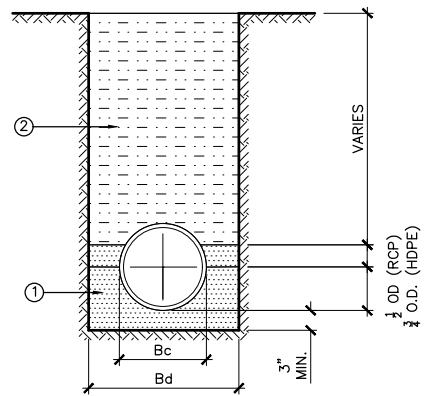


SCALE: NO SCALE

ADOPTED: MAY 2018  
ORD. NO.: 2018-05-01  
REVISION: 2019-12-01  
REVISION: 2024-06-01  
REVISION:



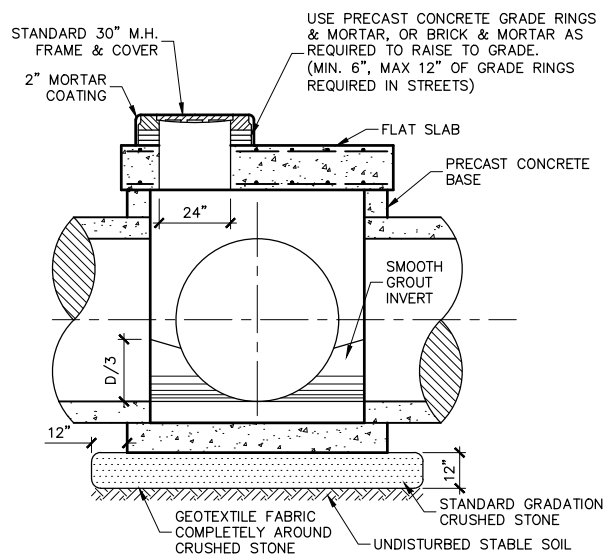
SHEET  
DS-G1



- STANDARD GRADATION CRUSHED STONE - BOTTOM LAYER IS TO BE PLACED TO GRADE TO PROVIDE UNIFORM SUPPORT OF PIPE BARREL. EXCAVATE BELL HOLES.
- SELECT MATERIAL FREE OF ROCKS, CLUMPS OR DEBRIS LARGER THAN 6" IN GREATEST DIMENSION. COMPACT TO 90% STANDARD PROCTOR DENSITY. UNDER STRUCTURES, ROADWAYS AND PAVEMENT, COMPACT TO 95% STANDARD PROCTOR DENSITY. SAND IS NOT ACCEPTABLE. \*UNDER STREETS & ALLEYS MATERIAL NO. 2 SHALL BE CRUSHED CONCRETE AT STANDARD GRADATION.

TRENCH WIDTH FOR R.C.P. WALL 'B'			
NOMINAL PIPE DIAMETER (INCHES)	EXTERNAL DIAMETER (Bc) (INCHES)	TRENCH WIDTH (Bd) (INCHES)	TRENCH WIDTH (Bd) (FEET)
18	23.0	39	3.25
21	26.5	42	3.5
24	30.0	48	4.00
27	33.5	51	4.25
30	37.0	54	4.50
33	40.5	57	4.75
36	44.0	63	5.25
39	47.5	66	5.50
42	51.0	69	5.75
45	54.5	72	6.00
48	58.0	78	6.50
51	61.5	81	6.75
54	65.0	84	7.00
60	72.0	93	7.75
66	79.0	99	8.25
72	86.0	108	9.00

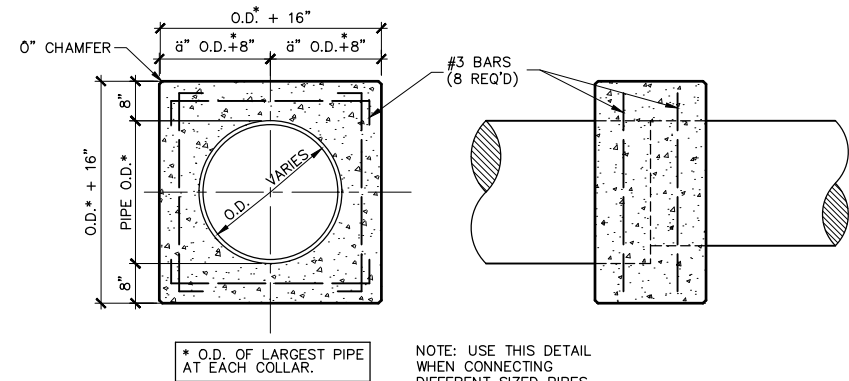
1 R.C.P. STORM SEWER EMBEDMENT  
NO SCALE



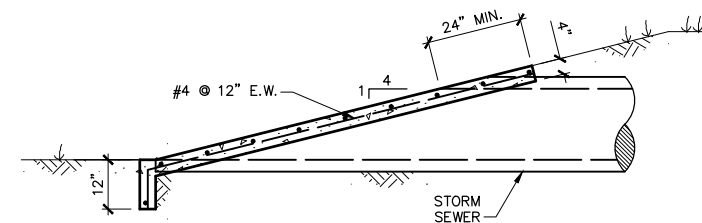
NOTES:

- ALL PRECAST SECTIONS SHALL MEET OR EXCEED ASTM C-478. POURED-IN-PLACE TO BE 4000 PSI, 6.5 SACK CONCRETE.
- MANHOLE NOMINAL SIZE SHALL BE 1.5 TIMES THE LARGEST PIPE DIAMETER FOR STRAIGHT THROUGH MANHOLES AND SHALL BE 2.0 TIMES THE LARGEST PIPE DIAMETER FOR TEE OR ANGLE MANHOLES. MINIMUM DIAMETER SHALL BE 48".
- MANHOLE FRAME AND COVERS SHALL BE CAST IRON BASS & HAYS PATTERN NO. 400-24 OR EQUAL. DO NOT USE SANITARY SEWER MANHOLE COVERS.
- GROUT INVERTS OF THE MANHOLE TO DRAIN. GROUT SHALL EXTEND UP ON THE WALL OF THE MANHOLE AT LEAST 1/3 THE DIAMETER OF THE STORM SEWER PIPE.

2 STANDARD STORM SEWER MANHOLE  
NO SCALE



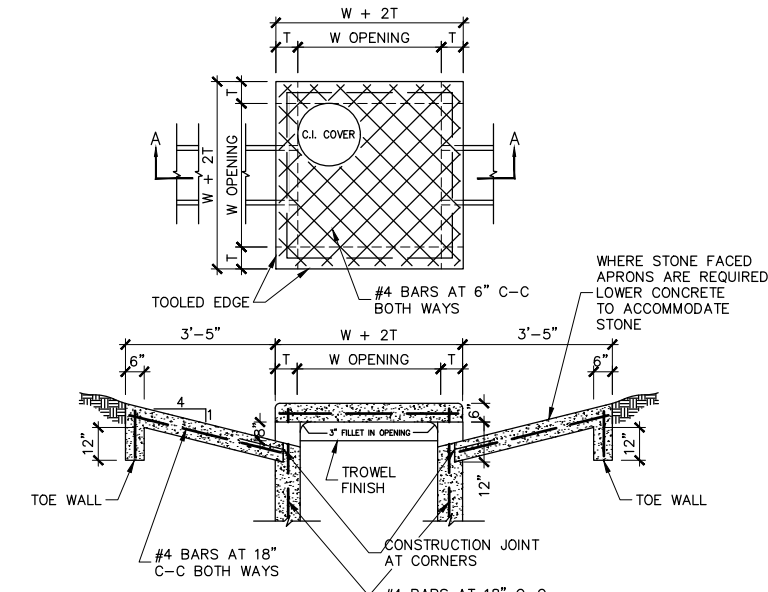
3 CONCRETE COLLAR DETAIL  
NO SCALE



NOTES:

- WIDTH OF HEADWALL IS EQUAL TO PIPE O.D. + 24".
- SAWCUT 4:1 BEVEL ON PIPE.
- PIPE RUNNER REQUIREMENTS SHALL CONFORM TO TXDOT STANDARD DRAWING SETP-CD

4 HEADWALL DETAIL  
NO SCALE

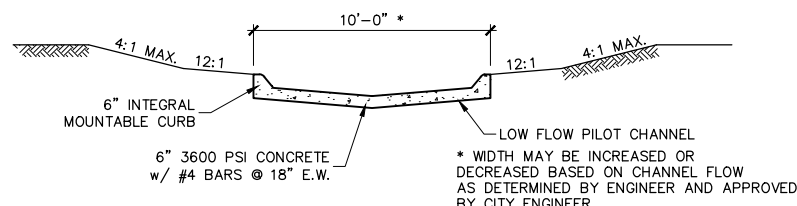


NOTE: TOE WALLS TO BE 12" IN DEPTH AND 6" IN WIDTH WITH REINFORCING BARS.

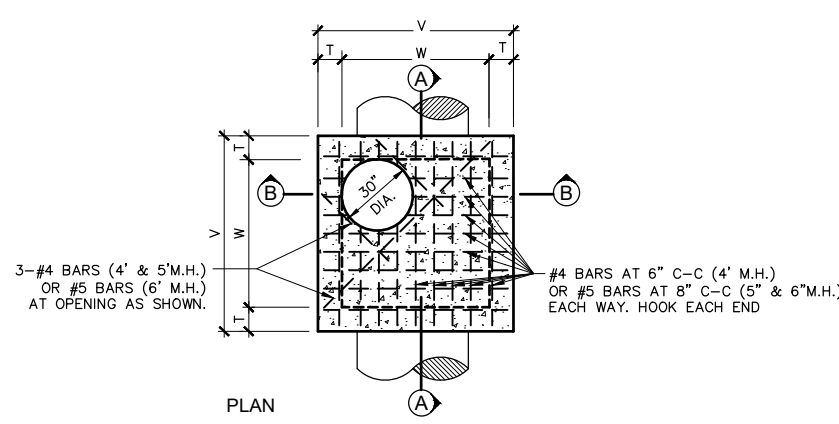
INLET SIZE	T	W
2' SQUARE	7"	2'-0"
3' SQUARE	7"	3'-0"
4' SQUARE	7"	4'-0"

- MATERIAL AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR STANDARD CONCRETE MANHOLES.
- LAYERS OF REINFORCING STEEL NEAREST THE INTERIOR AND EXTERIOR SURFACES SHALL HAVE A COVER OF 2", UNLESS OTHERWISE NOTED.
- DECK MAY BE REINFORCED SAME AS STANDARD SQUARE STORM DRAIN MANHOLE.
- CAST IRON FRAME AND COVER - BASS AND HAYS PATTERN NO. 184L, OR APPROVED EQUAL.

5 "Y" INLET DETAIL  
NO SCALE

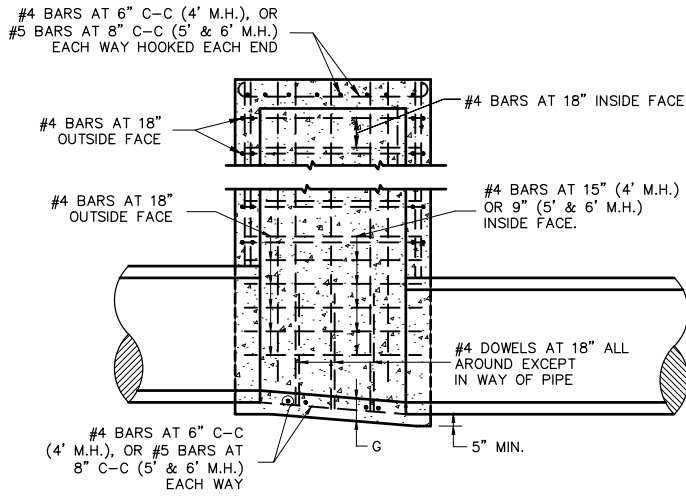


6 TYPICAL EARTHEN CHANNEL SECTION  
NO SCALE

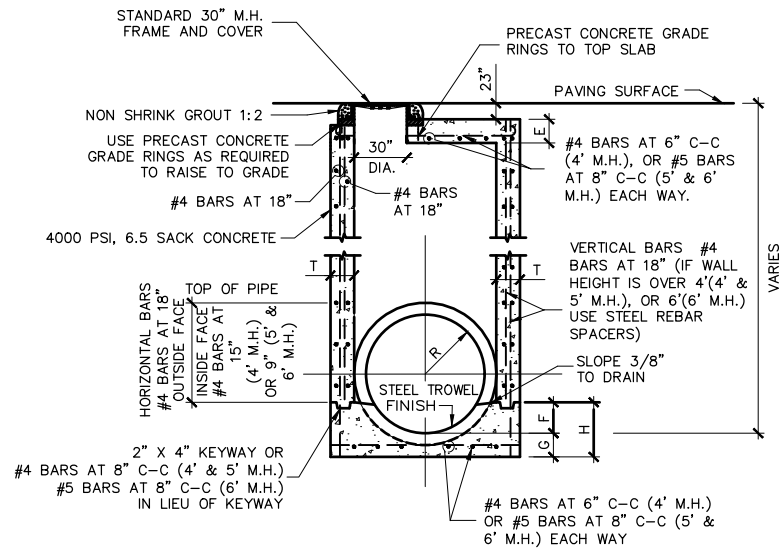


M.H. SIZE(W)	V	T	E	F	G	H
4'	5'-4"	8"	6"	9"	6"	1'-3"
5'	6'-4"	8"	6"	12"	8"	1'-8"
6'	7'-6"	9"	9"	16"	10"	2'-2"

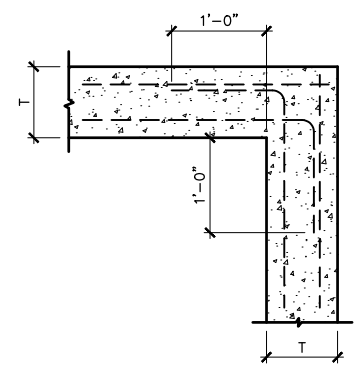
TABLE OF DIMENSIONS



SECTION A-A



SECTION B-B



8 CORNER DETAIL, PLAN VIEW  
NO SCALE

7 STORMWATER MANHOLE 4', 5', OR 6' SQUARE  
NO SCALE

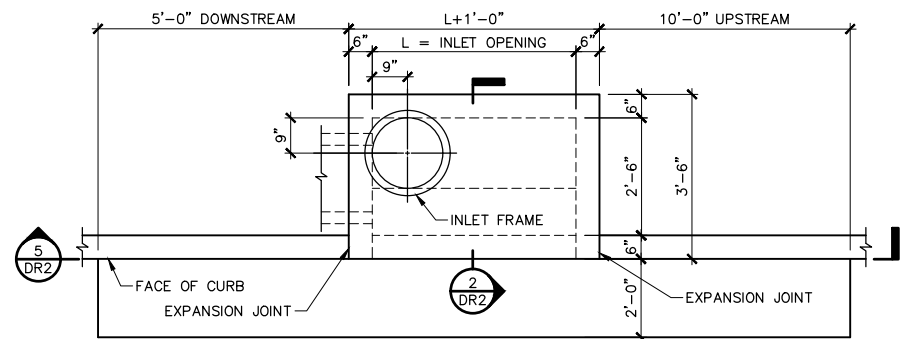


SCALE: NO SCALE

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REVISION: 2024-06-01  
REVISION:

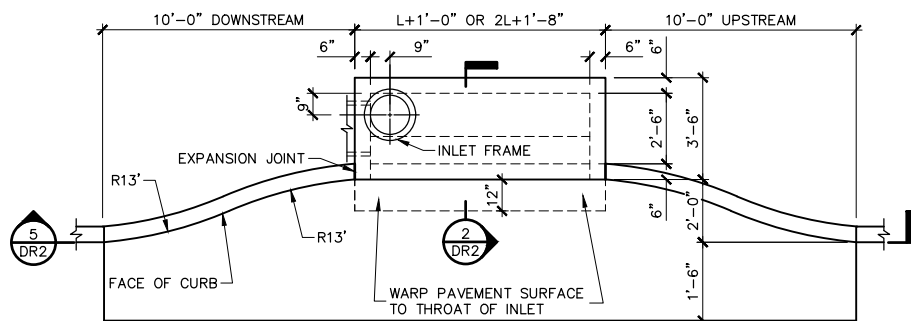
0" = 1"  
ORIGINAL SCALE

SHEET  
DS-DR1



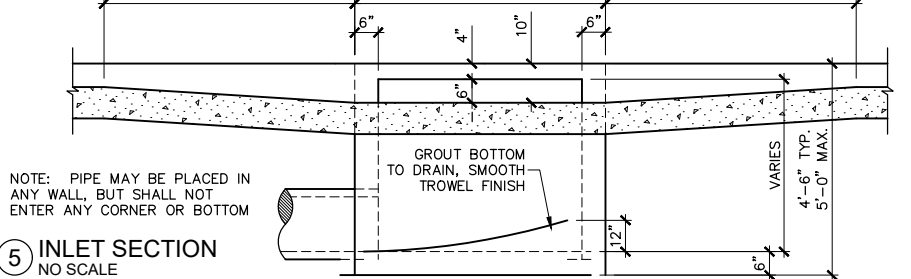
1 PLAN - STANDARD INLET  
NO SCALE

NOTE: PIPES SHALL CONNECT TO THE ENDS OR SIDES OF INLETS. CONNECTION SHALL NOT BE MADE AT CORNER OR BOTTOM.

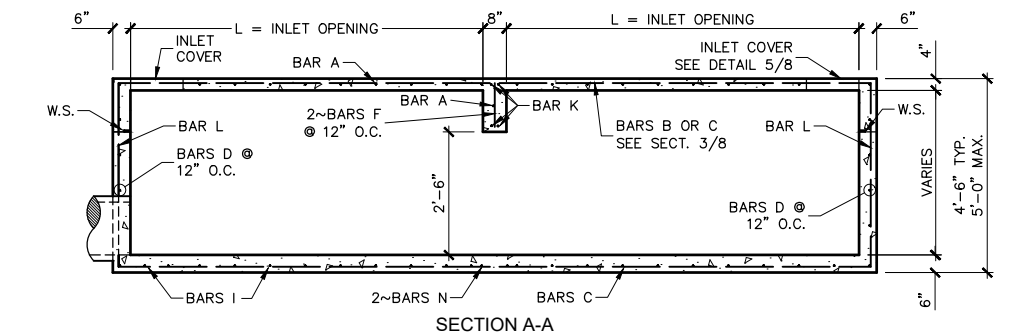
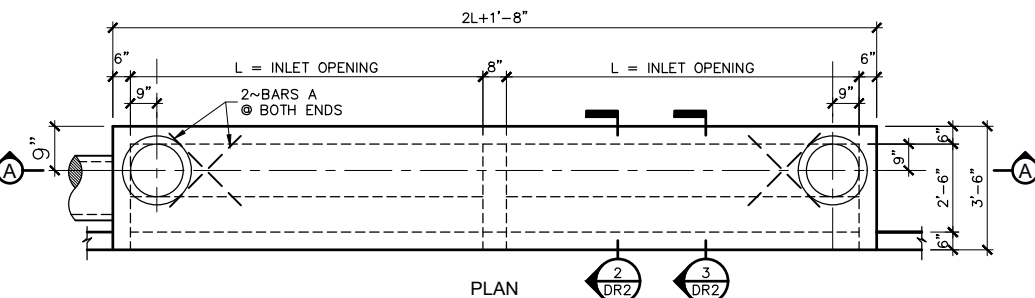


3 PLAN - RECESSED INLET  
NO SCALE

5'-0" DOWNSTREAM @ STANDARD INLET  
10'-0" DOWNSTREAM @ RECESSED INLET  
VARIABLE HT. CURB

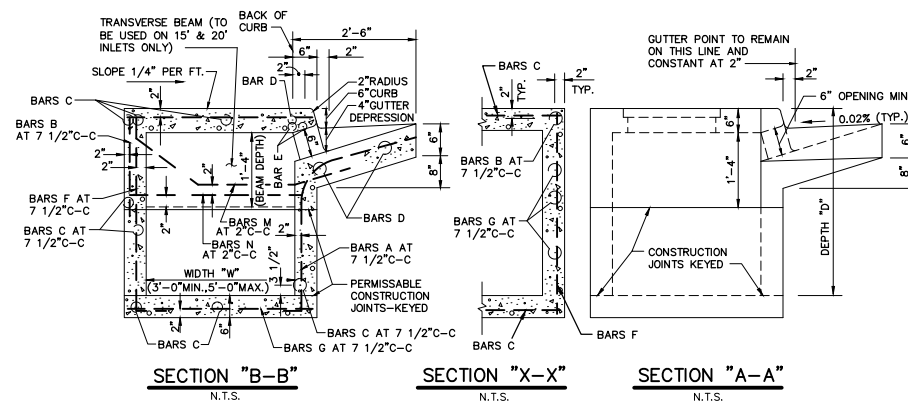


5 INLET SECTION  
NO SCALE



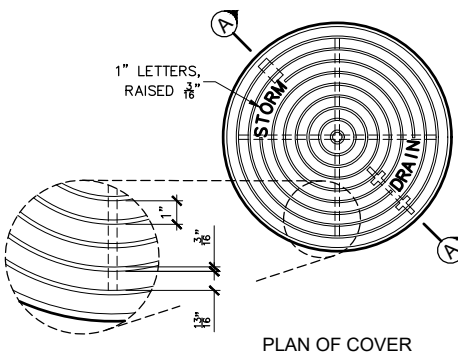
6 DOUBLE INLET DETAILS  
NO SCALE

NOTE: DETAIL SHOWN IS FOR INLETS LARGER THAN 10' IN WIDTH. FOR INLETS 10' IN WIDTH AND LESS, DELETE CENTER ROOF BEAM AND ONE INLET COVER.



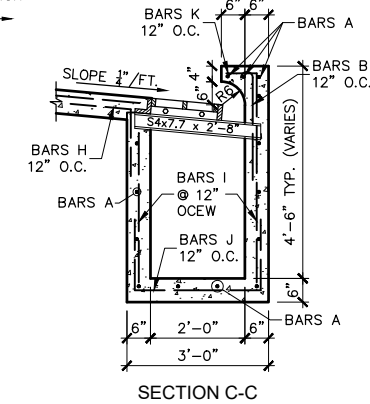
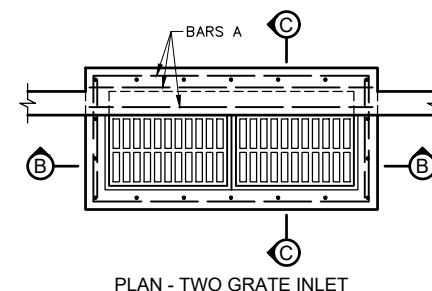
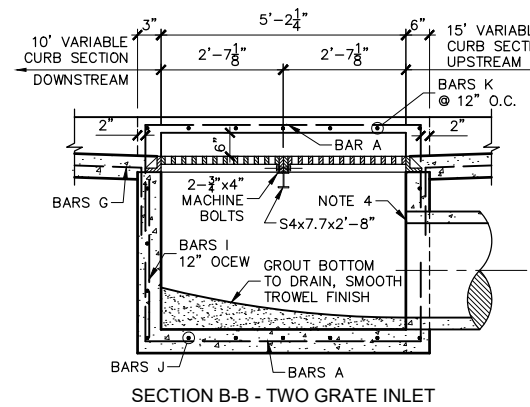
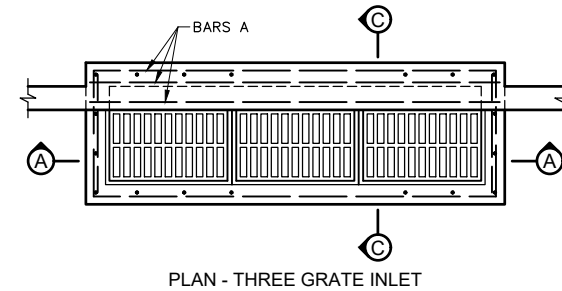
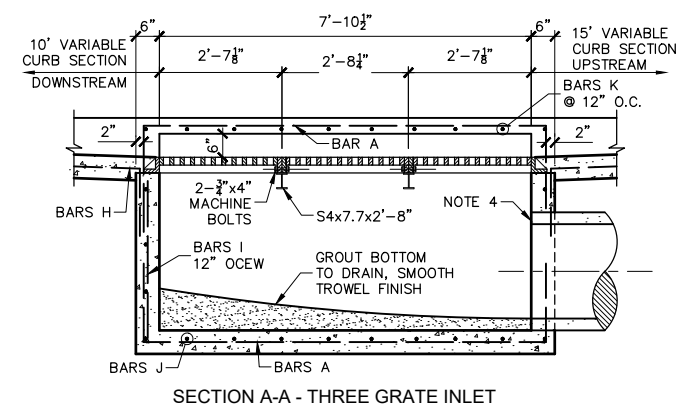
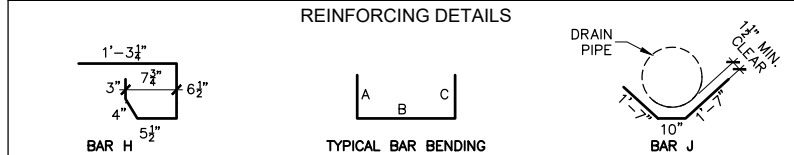
- GENERAL NOTES:
- CURB INLETS SHALL CONFORM TO NCTCOG DETAIL 6020B, LATEST EDITION. REFERENCE IS MADE TO NCTCOG STANDARD DRAWINGS 6020A, 6020C AND 6020D.
  - ALL CONCRETE SHALL BE CLASS "A" CONCRETE.
  - REINFORCING BARS SHALL BE STANDARD GRADE STEEL, DEFORMED REINFORCING BARS OF A DIAMETER AND LENGTH AS SHOWN.
  - CHAMFER ALL EXPOSED CORNERS 3/4" EXCEPT WHERE OTHERWISE NOTED.
  - DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTERS OF BARS.
  - FIELD CUT AND BEND BARS AS NECESSARY TO ACCOMMODATE STORM SEWER PIPE.

2 INLET SECTION  
NO SCALE



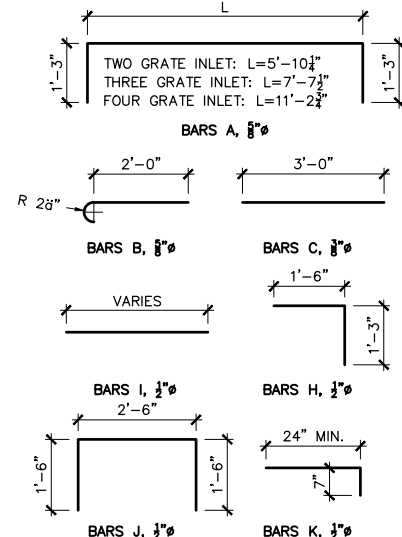
4 INLET FRAME AND COVER  
NO SCALE

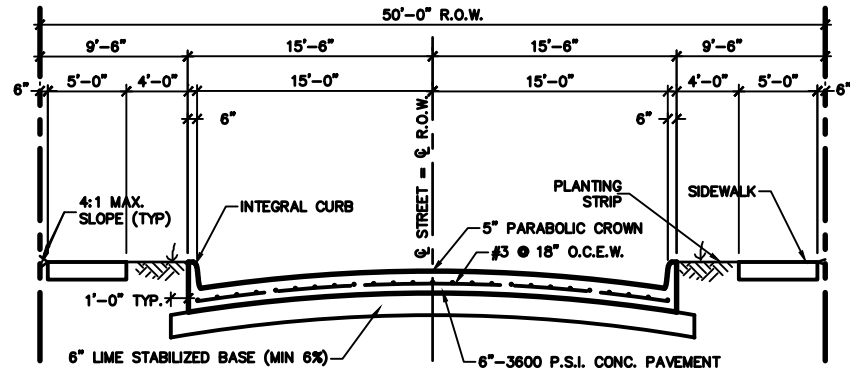
REINFORCING STEEL SCHEDULE									
STANDARD & RECESSED INLETS					DOUBLE INLETS				
INLET LENGTH L	BAR TYPE	BAR DIA. (1/8")	NO. REQD.	BAR DIMENSIONS	INLET LENGTH L	BAR TYPE	BAR DIA. (1/8")	NO. REQD.	BAR DIMENSIONS
6 FT.	A	3	9	3'-2" 1'-6"	8 FT.	A	3	19	3'-2" 1'-6"
	B	4	4	6'-8" 0'-6"		B	4	4	17'-4" 0'-6"
	C	4	5	6'-8" 0'-6"		C	4	5	17'-4" 0'-6"
	D	4	5	4'-8" 1'-3"		D	4	9	4'-8" 1'-3"
	F	4	1	3'-2" 3'-2"		E	5	6	17'-4" 0'-6"
	G	3	5	2'-0" 1'-3"		F	4	5	1'-2" 1'-3"
	H	3	3	3'-2" 3'-2"		G	3	12	2'-0" 1'-3"
	N	3	3	3'-2" 3'-2"		H	3	26	* * *
8 FT.	A	3	12	3'-2" 1'-6"	I	4	16	4'-8" 3'-2"	
	B	4	4	8'-8" 0'-6"	J	5	1	* * *	
	C	4	5	8'-8" 0'-6"	K	5	6	3'-2" 0'-6"	
	D	4	5	4'-8" 1'-3"	L	4	11	3'-2" 0'-6"	
	F	4	1	3'-2" 1'-3"	M	4	2	3'-0" 4'-8"	
	G	3	5	2'-0" 1'-3"	N	4	2	4'-8" 3'-2"	
	H	3	4	* * *					
	N	3	3	3'-2" 3'-2"					
10 FT.	A	3	10	3'-2" 1'-6"	10 FT.	A	3	23	3'-2" 1'-6"
	B	4	5	10'-8" 0'-6"		B	4	5	21'-4" 0'-6"
	C	4	6	10'-8" 0'-6"		C	4	6	21'-4" 0'-6"
	D	4	4	4'-8" 1'-3"		D	4	9	4'-8" 1'-3"
	E	5	6	10'-8" 0'-6"		E	5	6	21'-4" 0'-6"
	G	3	5	2'-0" 1'-3"		F	4	5	1'-2" 1'-3"
	H	3	15	* * *		G	3	15	2'-0" 1'-3"
	L	4	5	4'-3" 3'-2"		H	3	32	* * *
				I	4	20	4'-8" 3'-2"		
				J	5	1	* * *		
				K	5	6	3'-2" 0'-6"		
				L	4	11	3'-2" 0'-6"		
				M	4	2	3'-0" 4'-8"		
				N	4	2	4'-8" 3'-2"		



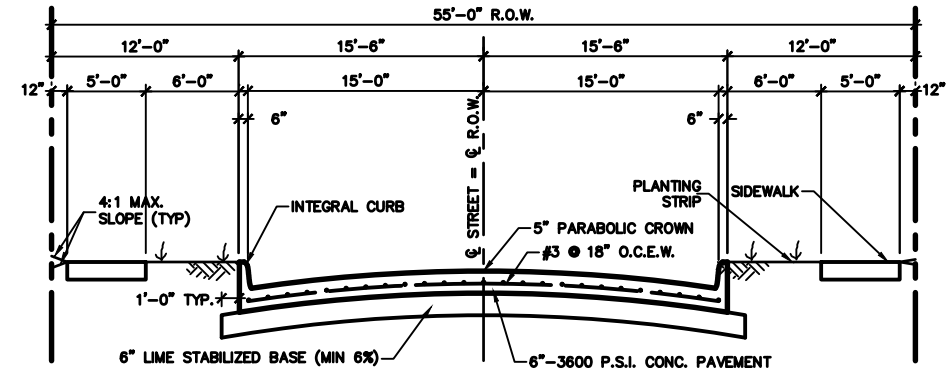
- NOTES:
- COMBINATION GRATE INLETS MAY BE USED ONLY IN ALLEYS.
  - ALL LAPS AND EXTENSIONS OF REINFORCING BARS SHALL BE 36 BAR DIAMETERS UNLESS OTHERWISE NOTED.
  - TACK WELD GRATES IN PLACE.
  - PIPE MAY BE PLACED IN ANY WALL, BUT SHALL NOT ENTER BOTTOM, OR ANY CORNER.
  - GRATE AND FRAME SHALL BE PATTERN NO. 814 AS MANUFACTURED BY BASS & HAYES FOUNDRY, INC. OR APPROVED EQUAL.
  - FOUR GRATE INLET SHALL BE CONSTRUCTED BY ADDING AN ADDITIONAL CENTER SECTION TO THE THREE GRATE INLET.

8 COMBINATION GRATE INLETS  
1/2"=1'-0"

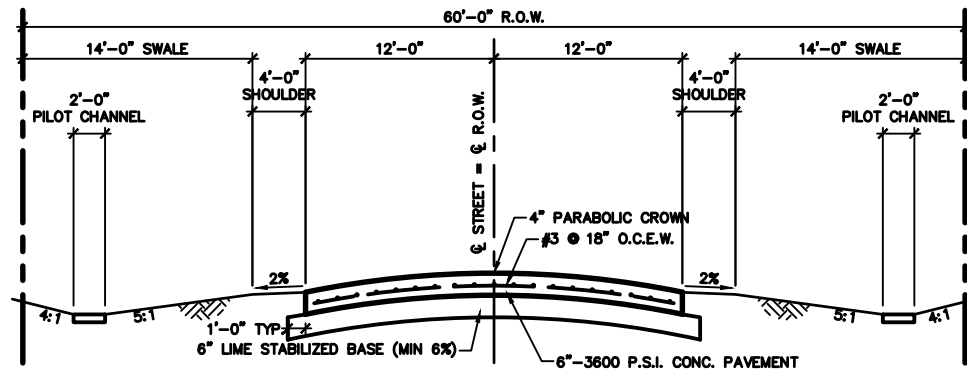




① TYPICAL SECTION - LOCAL 31' STREET (50' ROW)  
NO SCALE

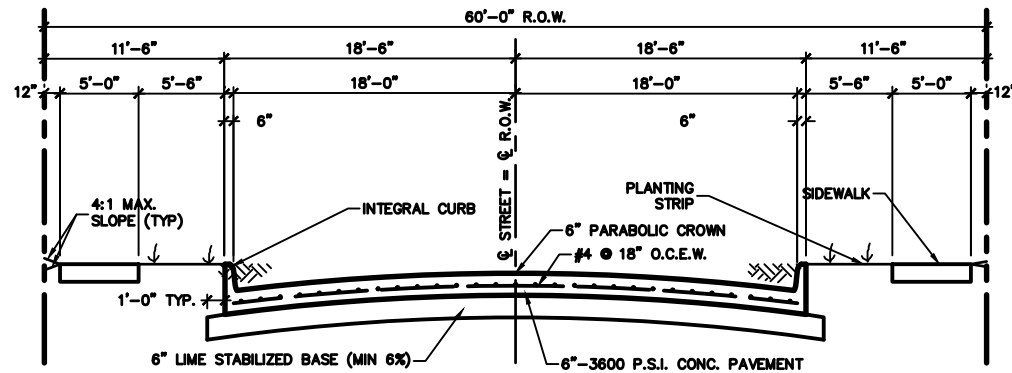


② TYPICAL SECTION - LOCAL 31' STREET (55' ROW)  
NO SCALE

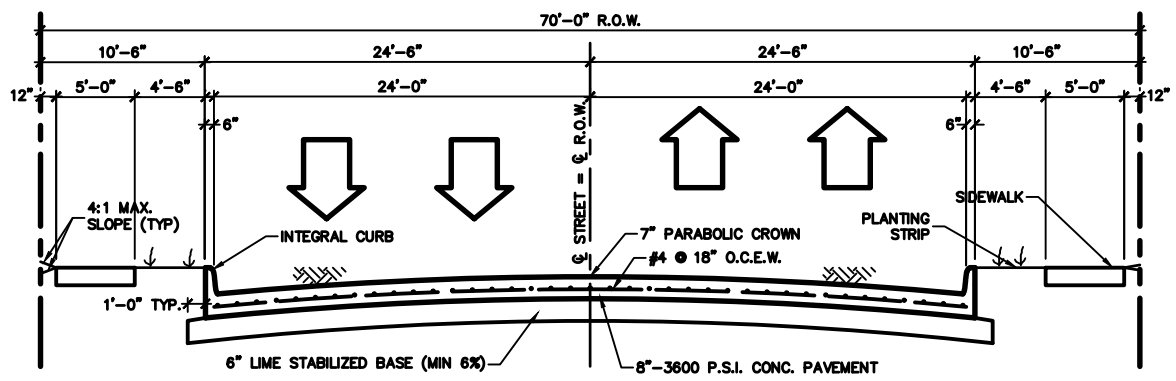


③ TYPICAL SECTION - COUNTRY LANE  
NO SCALE

NOTE: WHERE THIS SECTION IS USED AS A COLLECTOR STREET, PAVEMENT THICKNESS SHALL BE 8" AND REINFORCING STEEL SHALL BE #4 @ 18" O.C.E.W.



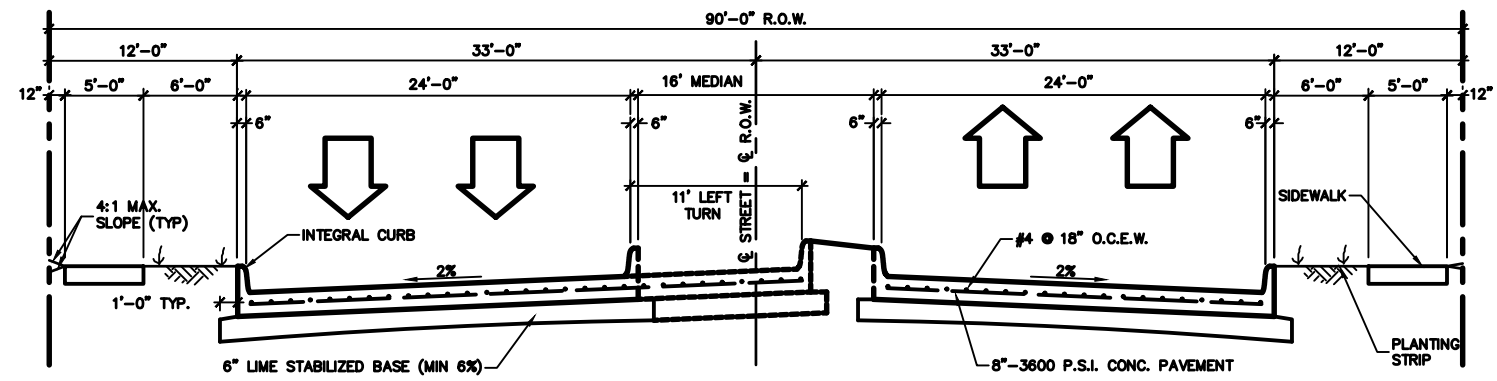
④ TYPICAL SECTION - MINOR COLLECTOR (C2U)  
NO SCALE



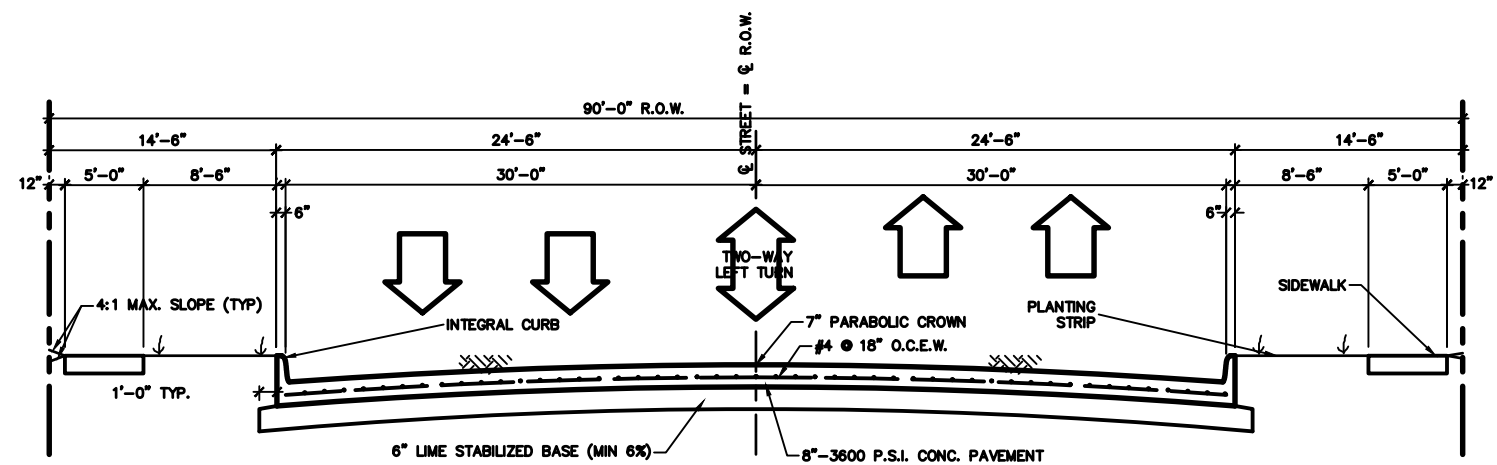
⑤ TYPICAL SECTION - MAJOR COLLECTOR (C4U)  
NO SCALE

**NOTES:**

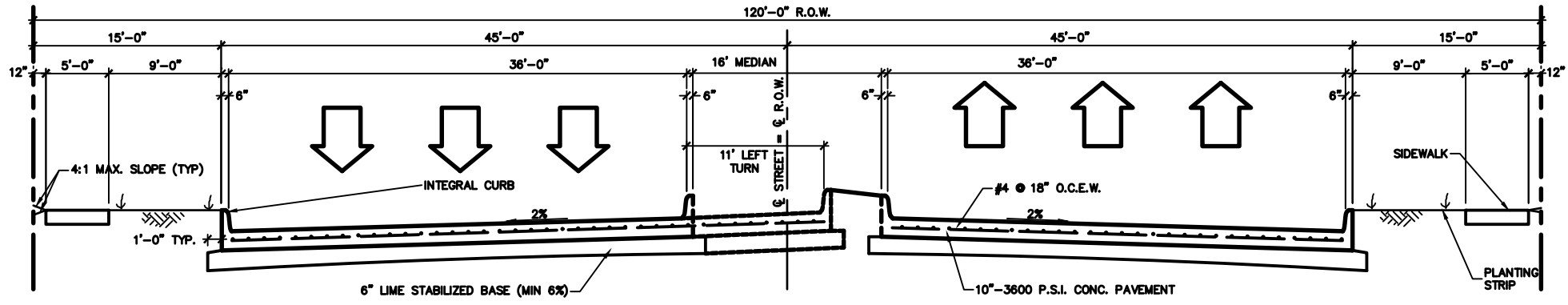
1. LIME STABILIZED BASE SHALL BE APPLICABLE TO ALL SUBGRADES WITH A PI OF 10 OR HIGHER. LIME STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIME CONTENT OF 6% (27 LBS/SY). SUBGRADE DESIGN SHALL BE DETERMINED BY A LICENSED GEOTECHNICAL ENGINEER.
2. FLY ASH MAY BE USED FOR CONCRETE PAVEMENT. FLY ASH CANNOT EXCEED 30% BY WEIGHT PER CUBIC YARD OF CONCRETE.
3. CEMENT CONTENT FOR STREETS SHALL BE A MINIMUM OF 6 BAGS FOR MACHINE POURED AND 6.5 BAGS FOR HAND POURED.
4. PARKING LOT DESIGN (3000 PSI MINIMUM):  
 4.1. PARKING AREAS AND DRIVE AWAYS - MIN. 5" THICK W/ #5 @ 24" O.C.E.W.  
 4.2. FINE LANES - MIN. 7" THICK W/ #4 @ 18" O.C.E.W.  
 4.3. DRIVELANE PAD AND AREA 10' IN FRONT - MIN. 6" THICK W/ #4 @ 18" O.C.E.W.  
 4.4. NON-FINE LANE DRIVEWAY APPROACHES - MIN. 6" THICK W/ #4 @ 18" O.C.E.W.
5. STREET INTERSECTIONS MAY REQUIRE ADDITIONAL RIGHT-OF-WAY TO ALLOW FOR RIGHT TURN LANES AND/OR MULTIPLE LEFT TURN LANES.
6. MOUNTABLE CURBS SHALL BE REVIEWED ON A CASE-BY-CASE BASIS. MOUNTABLE CURBS WILL ONLY BE CONSIDERED ON LOCAL RESIDENTIAL STREETS.
7. ADDITIONAL RIGHT-OF-WAY MAY BE REQUIRED TO ACCOMMODATE TRAILS.



⑥ TYPICAL SECTION - MINOR ARTERIAL (M4D)  
NO SCALE



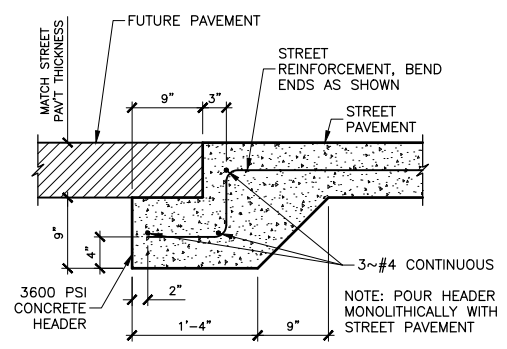
⑦ TYPICAL SECTION - MINOR ARTERIAL/MAJOR COLLECTOR (P5U)  
NO SCALE



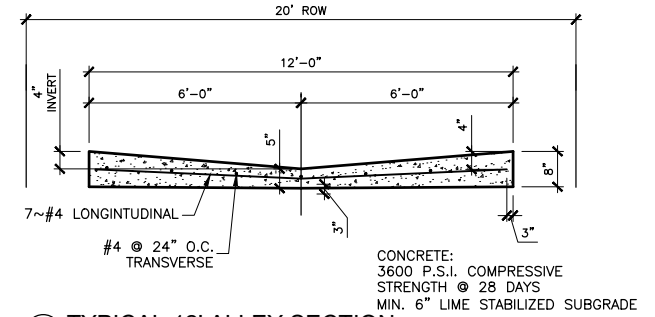
⑧ TYPICAL SECTION - PRINCIPAL ARTERIAL (P6D)  
NO SCALE

NOTES:

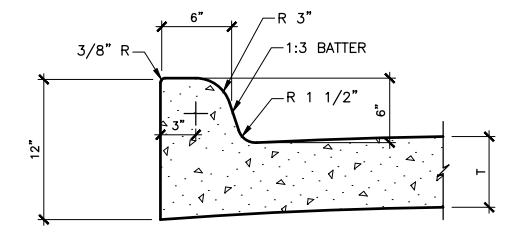
1. LIME STABILIZED BASE SHALL BE APPLICABLE TO ALL SUBGRADES WITH A PI OF 15 OR HIGHER. LIME STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIME CONTENT OF 6% (27 LBS/SY). SUBGRADE DESIGN SHALL BE DETERMINED BY A LICENSED GEOTECHNICAL ENGINEER.
2. FLY ASH MAY BE USED FOR CONCRETE PAVEMENT. FLY ASH CANNOT EXCEED 20% BY WEIGHT PER CUBIC YARD OF CONCRETE.
3. CEMENT CONTENT FOR STREETS SHALL BE A MINIMUM OF 6 SACK FOR MACHINE POURED AND 6.5 SACK FOR HAND POURED.
4. PARKING LOT DESIGN (3000 PSI MINIMUM):
  - 4.1. PARKING AREAS AND DRIVE AISLES - MIN. 6" THICK W/ #5 @ 24" O.C.E.W.
  - 4.2. DRIVE LANES - MIN. 7" THICK W/ #4 @ 18" O.C.E.W.
  - 4.3. DUMPSTER PAD AND AREA 10' IN FRONT - MIN. 5" THICK W/ #4 @ 18" O.C.E.W.
  - 4.4. NON-DRIVE LANE DRIVEWAY APPROACHES - MIN. 6" THICK W/ #4 @ 18" O.C.E.W.
5. STREET INTERSECTIONS MAY REQUIRE ADDITIONAL RIGHT-OF-WAY TO ALLOW FOR RIGHT TURN LANES AND/OR MULTIPLE LEFT TURN LANES.
6. MOUNTABLE CURBS SHALL BE REVIEWED ON A CASE-BY-CASE BASIS. MOUNTABLE CURBS WILL ONLY BE CONSIDERED ON LOCAL RESIDENTIAL STREETS.
7. ADDITIONAL RIGHT-OF-WAY MAY BE REQUIRED TO ACCOMMODATE TRAILS.



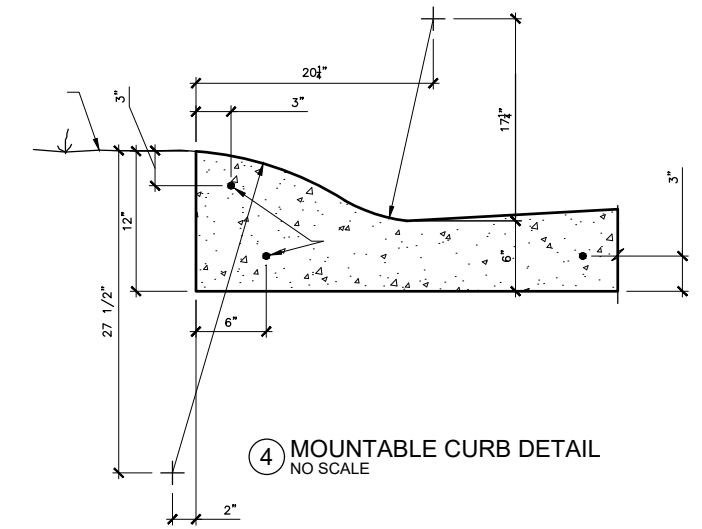
1 TYPICAL STREET HEADER  
NO SCALE



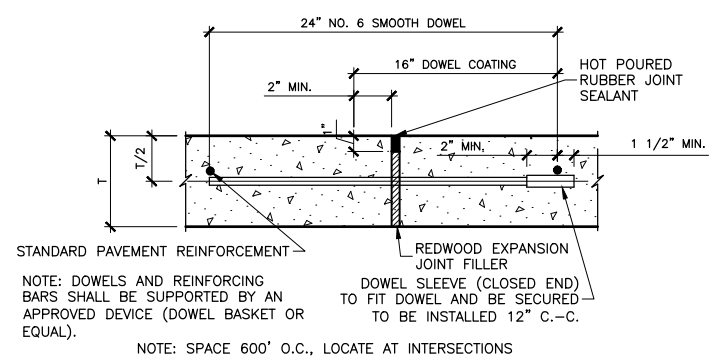
2 TYPICAL 12' ALLEY SECTION  
NO SCALE



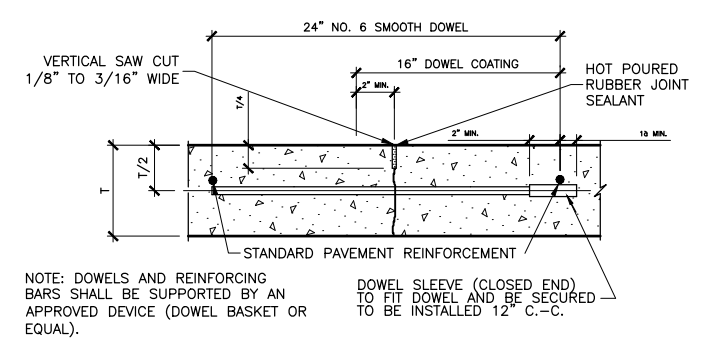
3 INTEGRAL CURB DETAIL  
NO SCALE



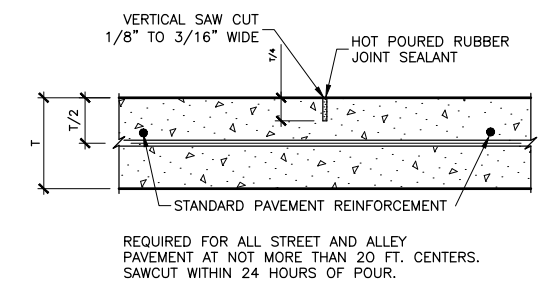
4 MOUNTABLE CURB DETAIL  
NO SCALE



5 TRANSVERSE EXPANSION JOINT  
NO SCALE

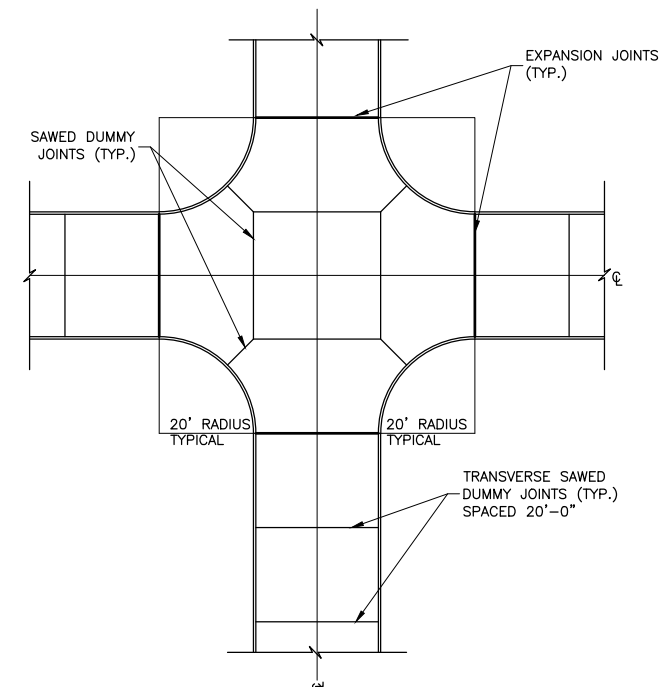


7 CONTRACTION JOINT  
NO SCALE

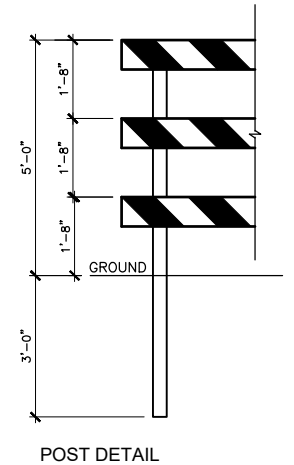
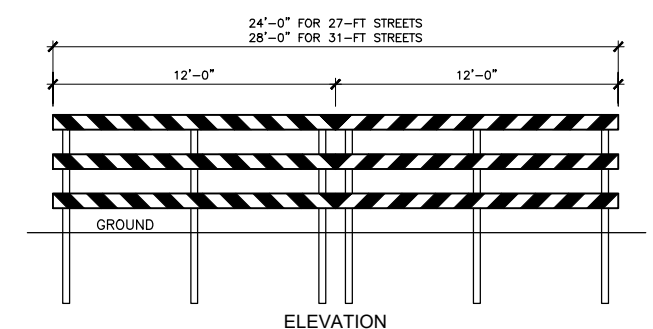


8 SAWED DUMMY JOINT  
NO SCALE

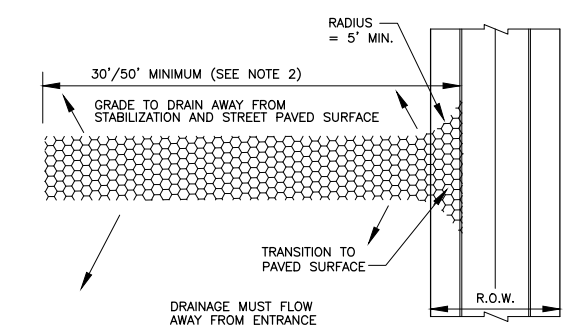
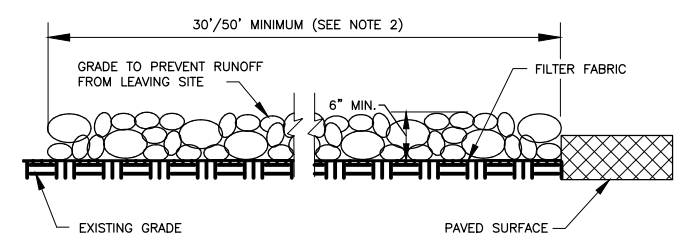
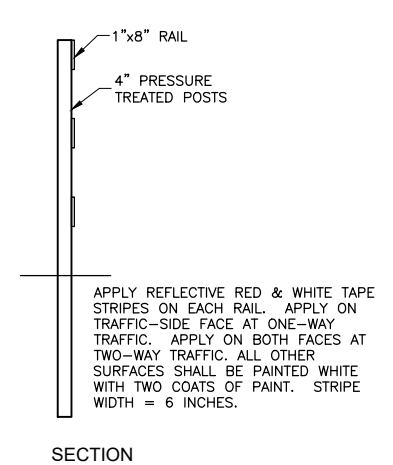
6 RESERVED  
NO SCALE



9 TYPICAL INTERSECTION JOINTING  
NO SCALE

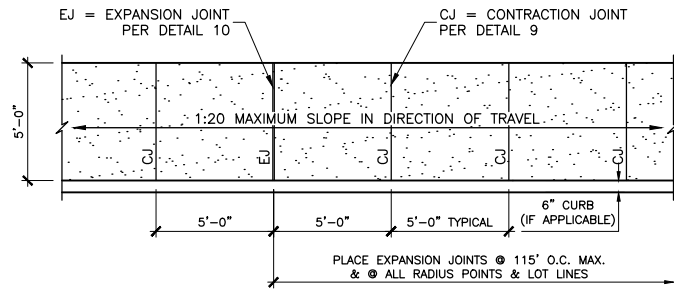


10 TEMPORARY BARRICADE DETAIL  
NO SCALE

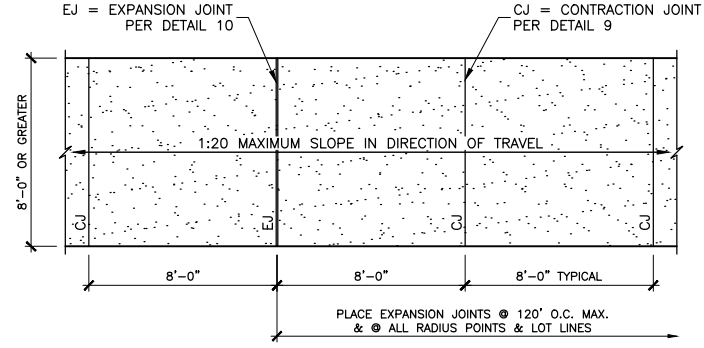


11 CONSTRUCTION ENTRANCE  
NTS

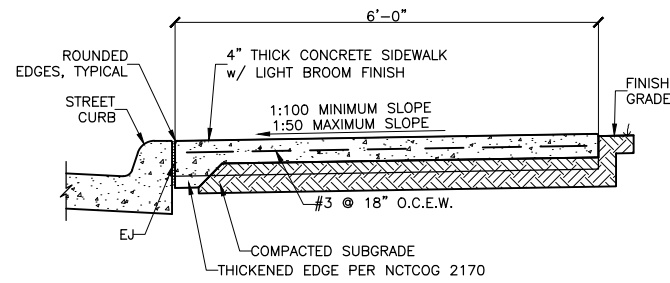
- STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES
- STONE SHALL BE 3 TO 6 INCH DIAMETER CRUSHED ROCK. CRUSHED CONCRETE IS NOT ACCEPTABLE.
  - LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
  - THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
  - THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  - WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
  - THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



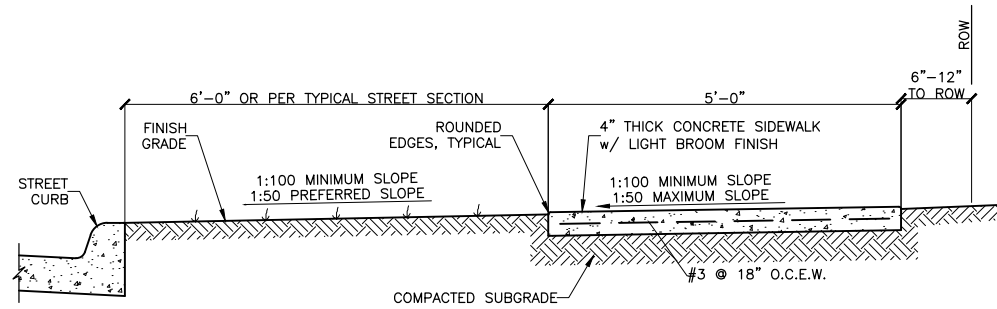
1 TYPICAL SIDEWALK PLAN  
1/4"=1'-0"



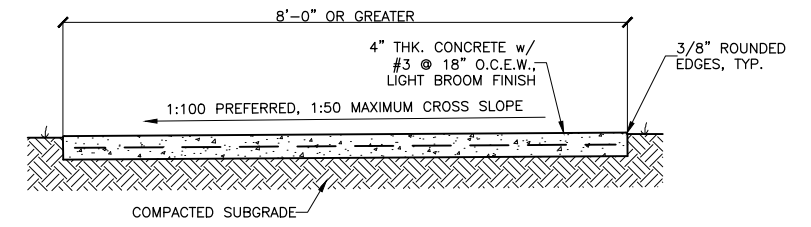
2 TYPICAL TRAIL OR BIKE PATH PLAN  
1/4"=1'-0"



3 SIDEWALK SECTION - NON-RESIDENTIAL ZONE  
3/4"=1'-0"

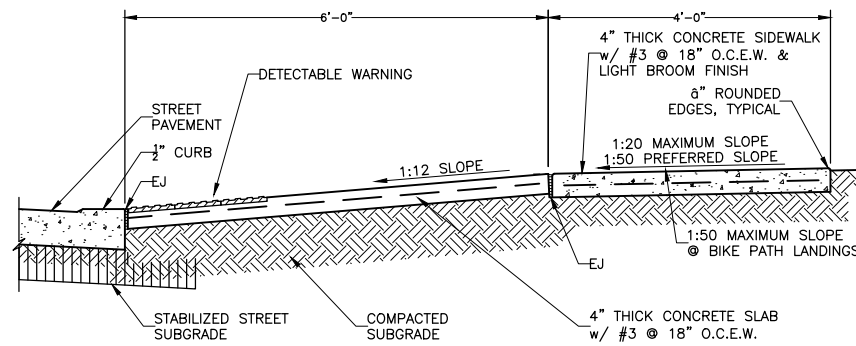


4 SIDEWALK SECTION - RESIDENTIAL ZONE  
3/4"=1'-0"

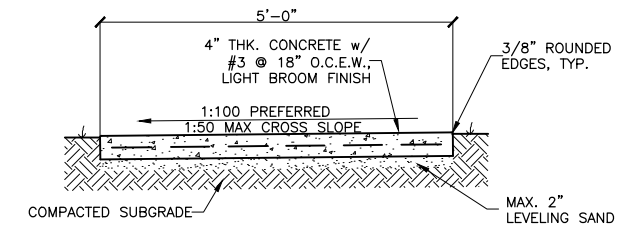


NOTE: BIKE PATHS SHALL NOT OBSTRUCT FLOW OF RUNOFF WATER ACROSS SITE (NO PONDING). CROSS SLOPE SHALL BE TOWARD DOWNHILL SIDE OF SITE. PATHS MAY BE CROWNED AT THE CENTERLINE TO SHED WATER IN BOTH DIRECTIONS IF NECESSARY FOR POSITIVE DRAINAGE.

5 TYPICAL TRAIL OR BIKE PATH SECTION  
3/4"=1'-0"

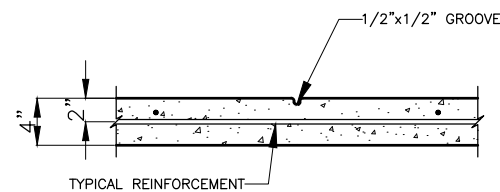


7 TYPICAL RAMP PROFILE  
3/4"=1'-0"

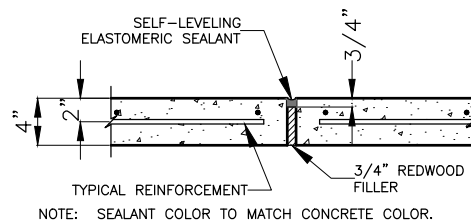


8 TYPICAL SIDEWALK SECTION  
3/4"=1'-0"

6 RESERVED

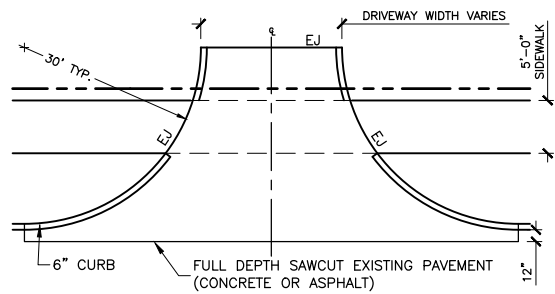


9 SIDEWALK CONTRACTION JOINT (CJ)  
1 1/2"=1'-0"

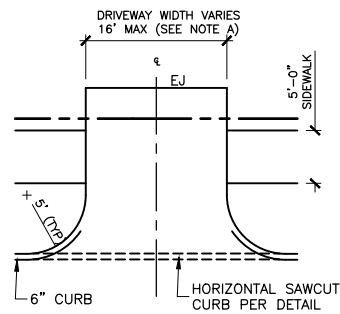


10 SIDEWALK EXPANSION JOINT (EJ)  
1 1/2"=1'-0"

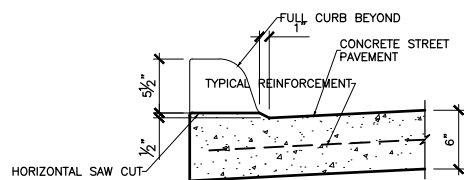




① TYPICAL NON-RESIDENTIAL DRIVEWAY  
N.T.S.



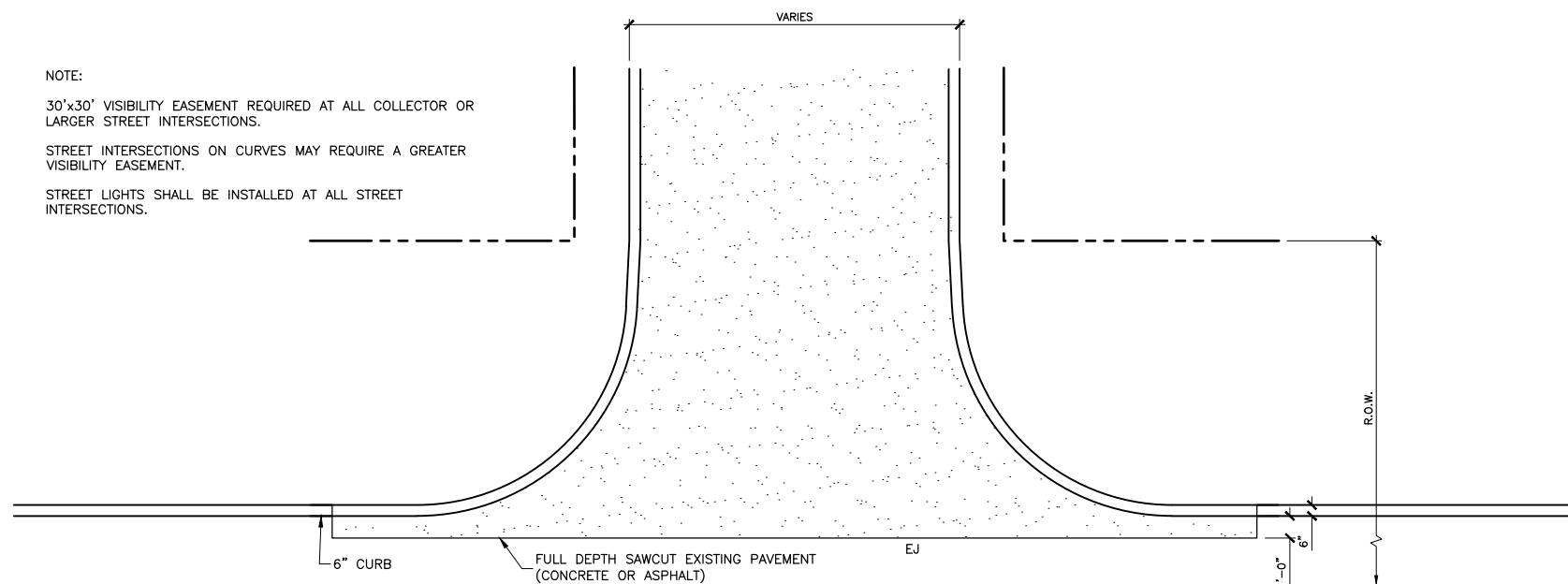
② TYPICAL RESIDENTIAL DRIVEWAY  
N.T.S.



③ TYPICAL CURB CUT AT RESIDENTIAL DRIVEWAY  
1 1/2"=1'-0"

- A. RESIDENTIAL DRIVEWAYS GREATER THAN 16 FEET IN WIDTH REQUIRES CITY APPROVAL.
- B. NON-RESIDENTIAL DRIVEWAYS SHALL NOT BE LOCATED CLOSER THAN 200 FEET DOWNSTREAM OR 100 FEET UPSTREAM FROM A STREET INTERSECTION AS MEASURED FROM CURB RETURN TO CURB RETURN. FOR CONNECTIONS TO TXDOT ROADWAYS, TXDOT STANDARDS SHALL GOVERN.
- C. RESIDENTIAL DRIVEWAYS SHALL BE LOCATED A MINIMUM OF 20 FEET FROM A STREET INTERSECTION AS MEASURED FROM CURB RETURN TO CURB RETURN.
- D. MAXIMUM DIFFERENTIAL DRIVEWAY GRADE SHALL BE 10%.
- E. SIDEWALK SECTION THROUGH DRIVEWAY SHALL BE SAME THICKNESS AS DRIVEWAY.
- F. RESIDENTIAL DRIVEWAYS TO BE CONNECTED TO STREET CONCRETE PAVEMENT WITH #4@18" O.C. BARS.

NOTE:  
30'x30' VISIBILITY EASEMENT REQUIRED AT ALL COLLECTOR OR LARGER STREET INTERSECTIONS.  
STREET INTERSECTIONS ON CURVES MAY REQUIRE A GREATER VISIBILITY EASEMENT.  
STREET LIGHTS SHALL BE INSTALLED AT ALL STREET INTERSECTIONS.



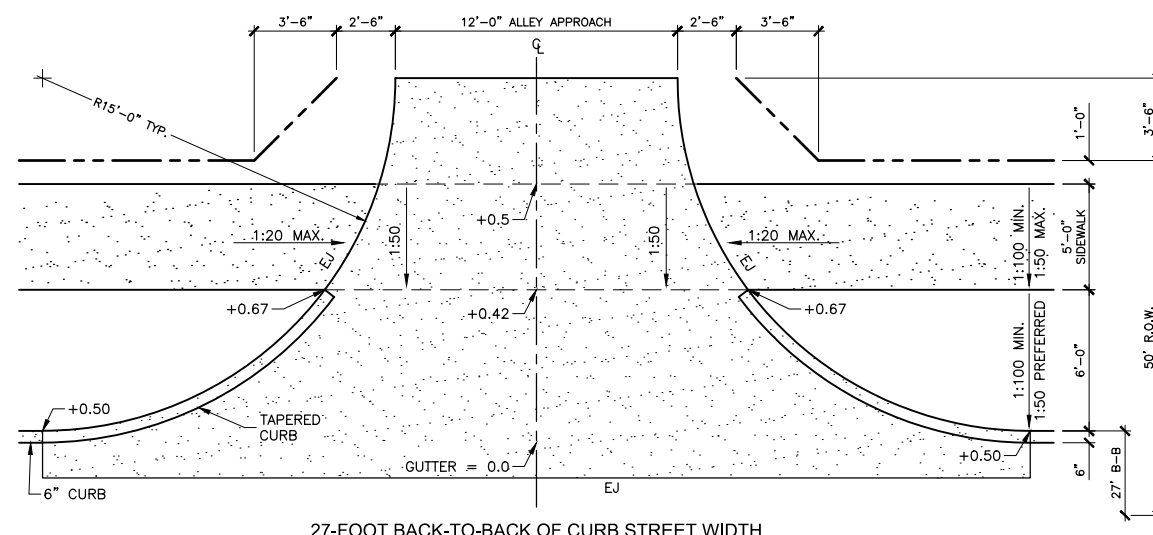
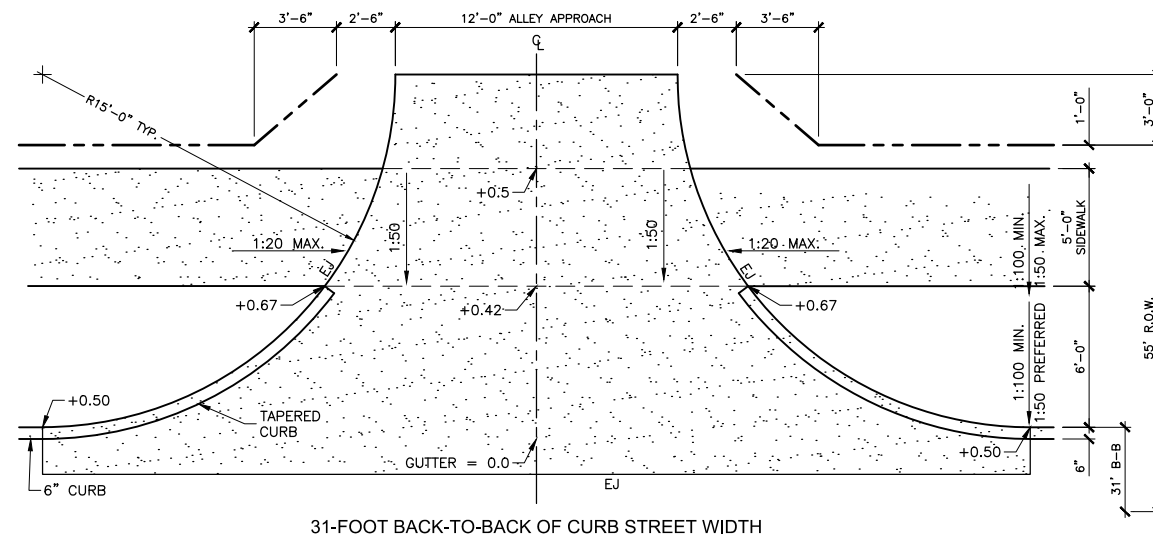
④ TYPICAL PROPOSED STREET CONNECTION  
N.T.S.

NOTES

1. ALL SIDEWALKS AND RAMPS SHALL CONFORM TO TEXAS ACCESSIBILITY STANDARDS REQUIREMENTS.
2. DETECTABLE WARNING SURFACE CAN BE CAST IN PLACE PANELS WITH TRUNCATED DOMES IN COMPLIANCE WITH TAS REQUIREMENTS. PLATES SHALL BE COLORFAST AND UV STABILIZED. PLATES SHALL BE GLASS REINFORCED COMPOSITE MATERIAL WITH MIN COMPRESSIVE STRENGTH OF 28,000 PSI (ASTM D695), FLEXURAL STRENGTH OF 29,000 PSI (ASTM D790), SLIP RESISTANCE OF 1.18 DRY AND 1.05 WET (ASTM C1028).
3. DETECTABLE WARNING SURFACE COLOR SHALL BE RED OR AS DETERMINED BY THE CITY OF LAVON. A COLOR SAMPLE SHALL BE PROVIDED FOR CITY APPROVAL.
4. RESIDENTIAL DRIVEWAY APPROACHES SHALL BE 4" MINIMUM THICKNESS, 3,600 PSI CONCRETE WITH #3 REINFORCING BARS AT 18" CENTER-TO-CENTER EACH WAY. RESIDENTIAL DRIVEWAY INSTALLATION ON EXISTING CURB AND GUTTER STREETS SHALL CONFORM TO DETAIL 2.
5. NON-RESIDENTIAL DRIVEWAY APPROACHES SHALL BE 6" MINIMUM THICKNESS, 4,000 PSI CONCRETE WITH #4 REINFORCING BARS AT 18" CENTER-TO-CENTER EACH WAY.
6. ALLEY APPROACHES SHALL BE 5" MINIMUM THICKNESS, 3,600 PSI CONCRETE WITH #3 REINFORCING BARS AT 18" CENTER-TO-CENTER EACH WAY.
7. PLACE EXPANSION JOINTS BETWEEN DRIVEWAY AND ALLEY APPROACHES AND ADJACENT STREET PAVEMENT.
8. LIGHT BROOM FINISH ALL EXPOSED CONCRETE SURFACES.
9. EXPOSED AGGREGATE IS NOT AN ACCEPTABLE FINISH FOR EXPOSED CONCRETE.

LEGEND

- 1:20 SLOPE DIRECTION & RATIO
- CAST-IN-PLACE CONCRETE
- IJ ISOLATION JOINT
- EJ EXPANSION JOINT
- CJ CONTRACTION JOINT
- RIGHT-OF-WAY LINE



⑤ TYPICAL ALLEY APPROACH W/ ACCESSIBLE SIDEWALK CROSSING  
1/4"=1'-0"



SCALE: AS NOTED

ADOPTED: MAY 2018  
ORD. NO.: 2018-05-01  
REVISION: 2019-12-01  
REVISION: 2024-06-01

0 1'  
ORIGINAL SCALE  
SHEET

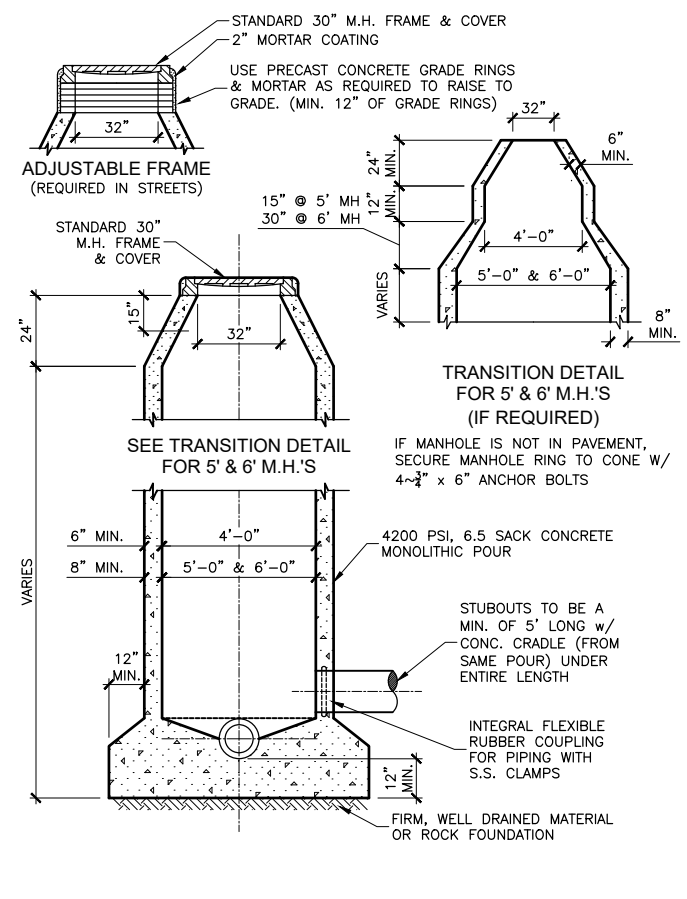
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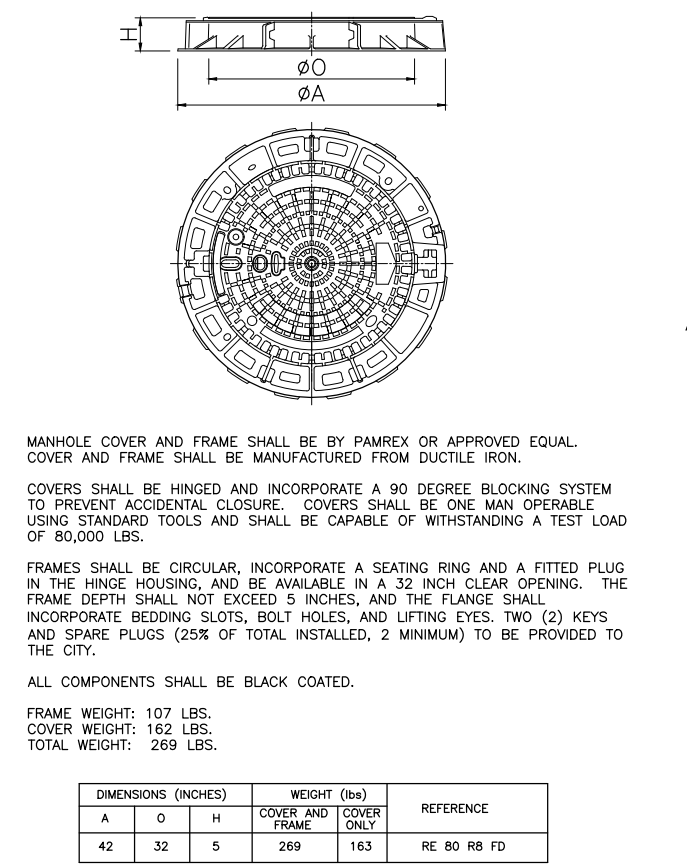
SCALE: NO SCALE

ADOPTED: MAY 2018  
ORD. NO.: 2018-05-01  
REVISION: 2019-12-01  
REVISION: 2024-06-01  
REVISION:  
0  
ORIGINAL SCALE

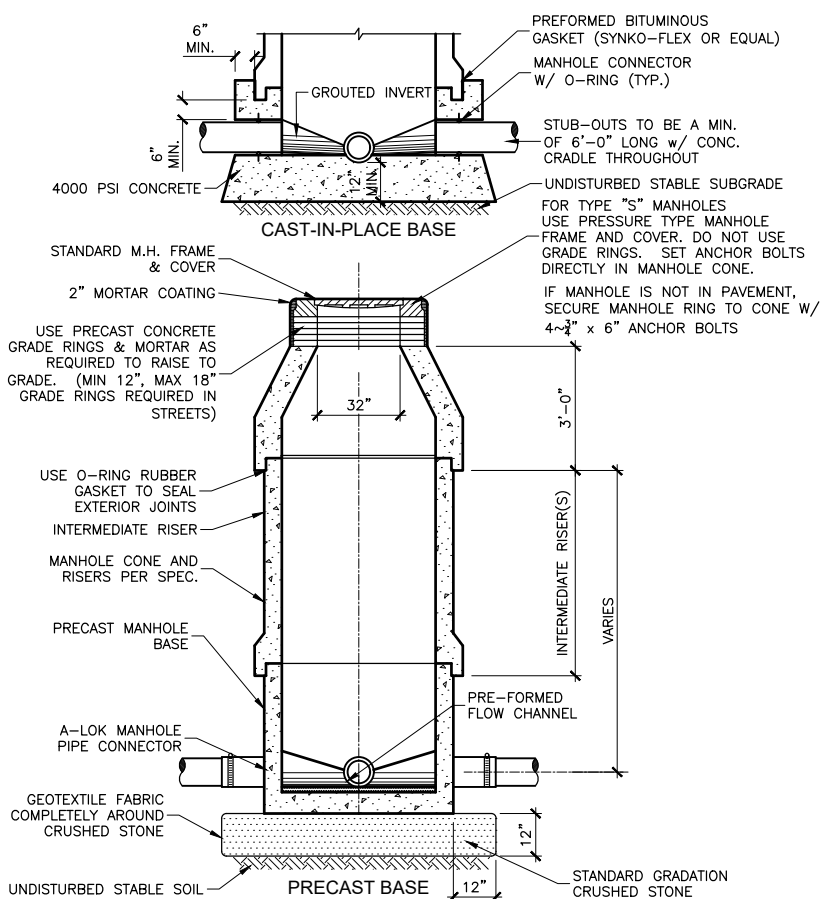
SHEET  
DS-SS1



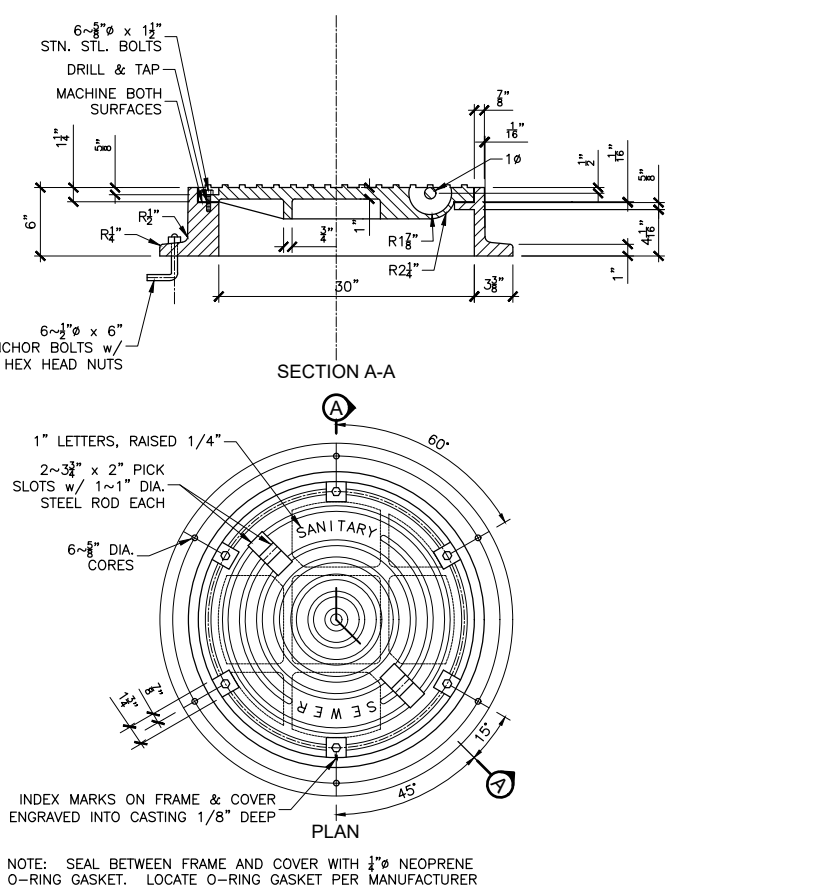
1 STANDARD CAST-IN-PLACE MANHOLE  
NO SCALE



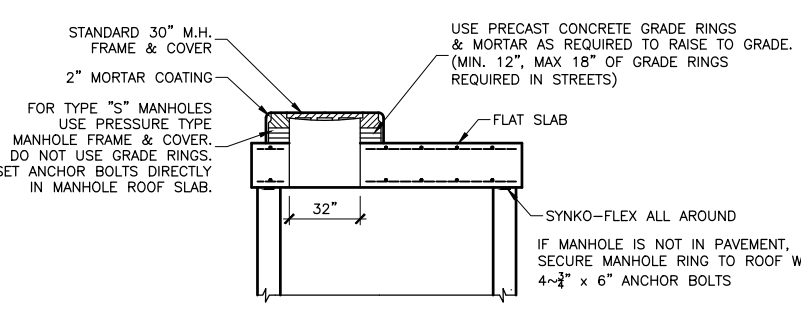
6 STANDARD MANHOLE FRAME & COVER  
NO SCALE



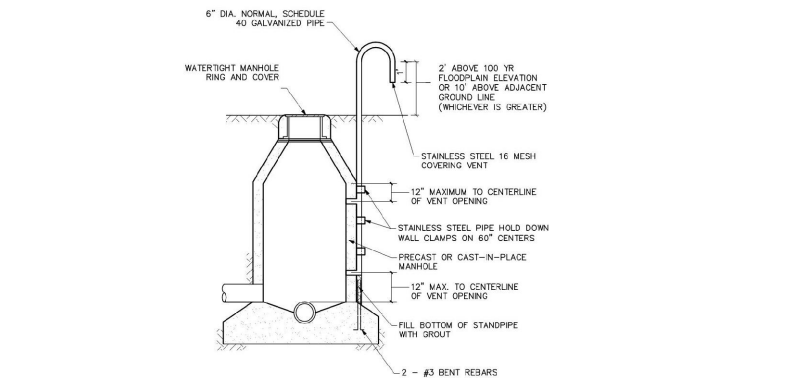
2 STANDARD PRECAST MANHOLE  
NO SCALE



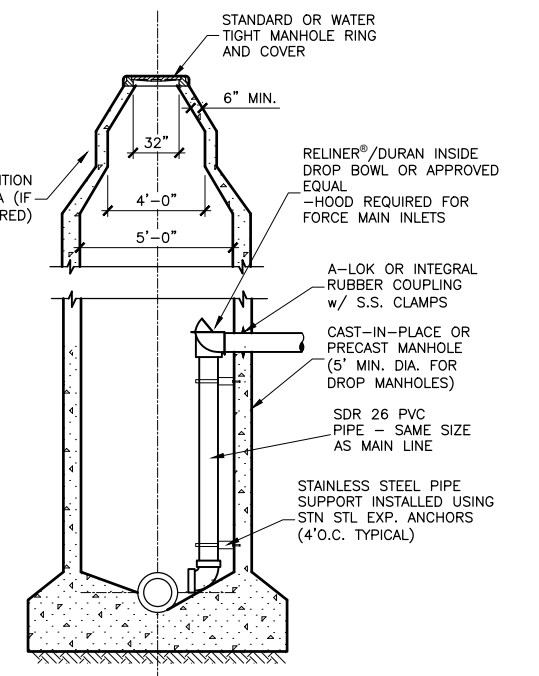
7 WATER TIGHT MANHOLE FRAME & COVER  
NO SCALE



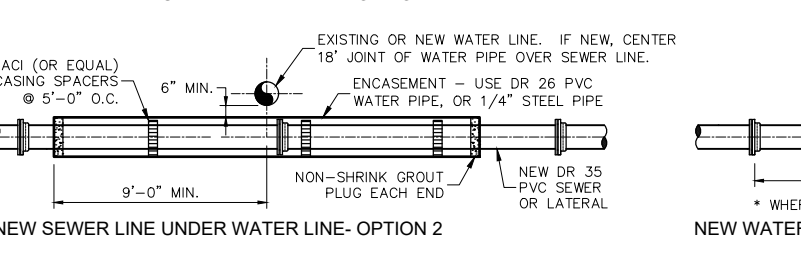
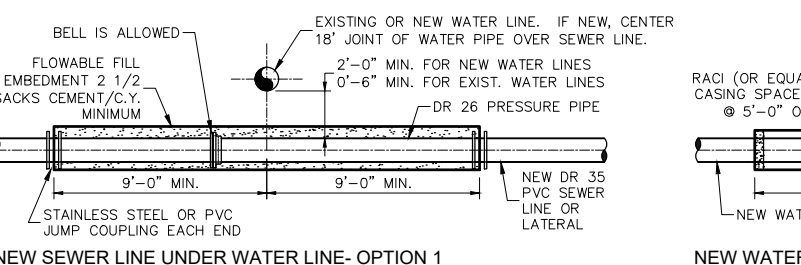
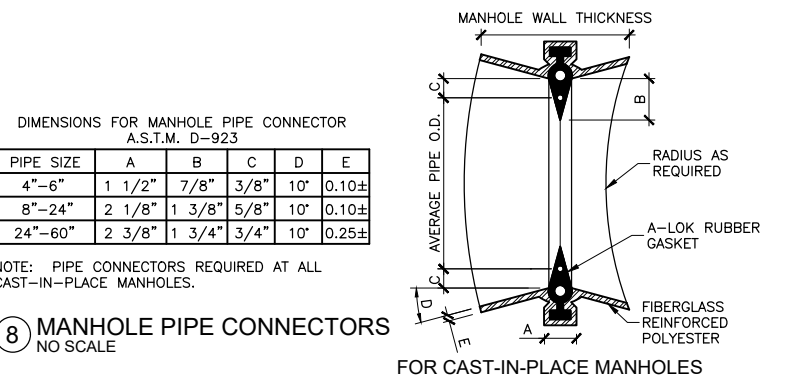
3 STANDARD PRECAST FLAT TOP MANHOLE  
NO SCALE



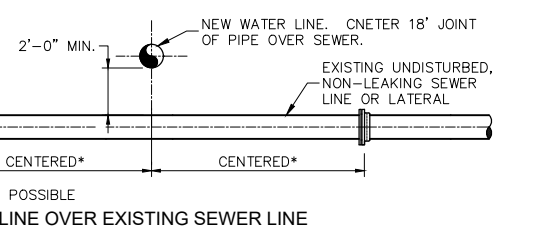
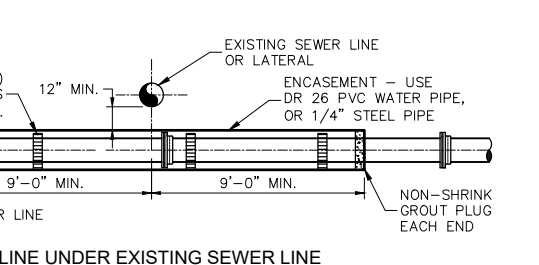
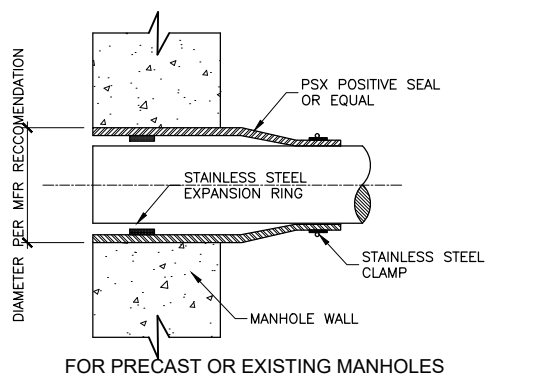
4 STANDARD VENTED MANHOLE  
NO SCALE



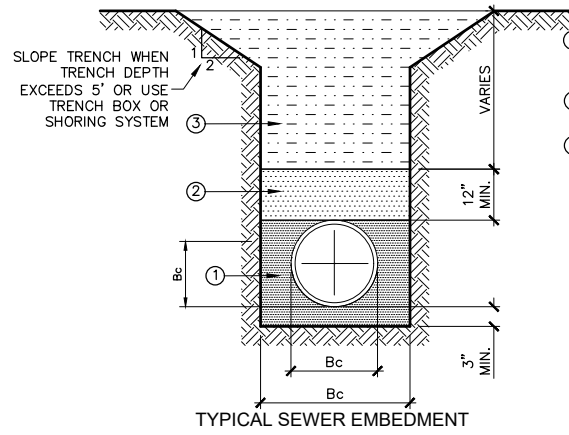
5 STANDARD 5' DROP MANHOLE CONNECTION  
NO SCALE



9 PIPE CROSSING DETAILS  
1/4"=1'-0"



NEW WATER LINE OVER EXISTING SEWER LINE

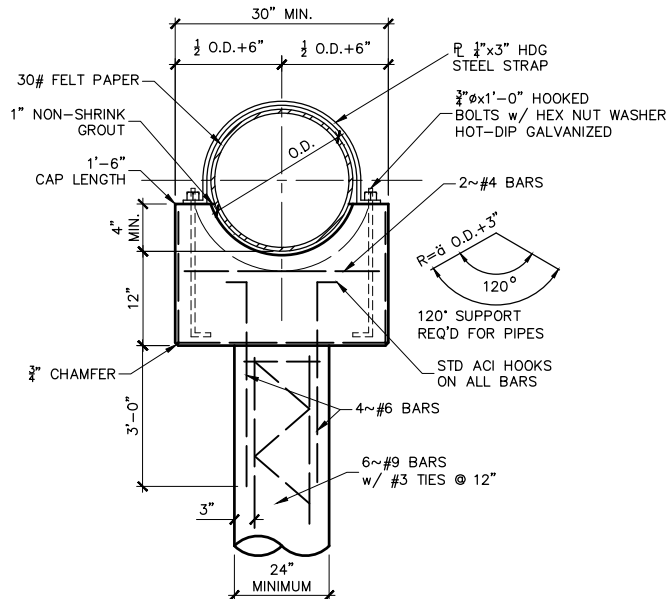


- STANDARD GRADATION CRUSHED STONE – TOP LAYER IS TO BE PLACED TO GRADE TO PROVIDE UNIFORM SUPPORT OF PIPE BARREL. EXCAVATE BELL HOLES.
- GRANULAR MATERIAL (SAND) COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- SELECT MATERIAL FREE OF ROCKS, CLUMPS OR DEBRIS LARGER THAN 6" IN GREATEST DIMENSION. COMPACT TO 90% STANDARD PROCTOR DENSITY. UNDER STRUCTURES, ROADWAYS AND PAVEMENT, COMPACT TO 95% STANDARD PROCTOR DENSITY.

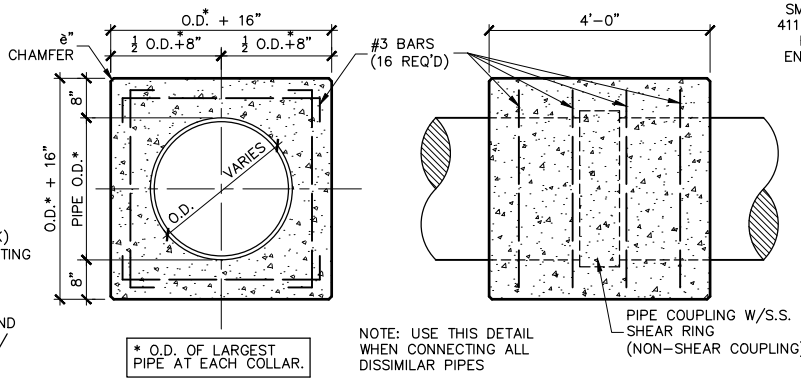
MINIMUM TRENCH WIDTH FOR SDR 26 PVC SANITARY SEWER PIPE (INCHES)

DEPTH OF COVER (FT.)	PVC SEWER PIPE SIZE							
	6"	8"	10"	12"	15"	18"	21"	24"
2	24	24	27	30	33	36	39	42
3	24	24	27	30	33	36	39	42
4	24	24	27	30	33	36	39	42
5	24	24	27	30	33	36	39	42
6	24	24	27	30	33	36	39	42
7	24	24	27	30	33	36	39	42
8	24	24	27	30	33	36	39	42
9	24	24	27	30	33	36	39	42
10	24	24	27	30	33	36	39	42
11	24	24	27	30	33	36	39	42
12	24	24	27	30	33	36	39	42
13	24	24	27	30	33	36	39	42
14	24	24	27	30	33	36	39	42
15	24	24	27	30	33	42	48	54
16	24	24	27	30	36	42	48	54
17	24	24	27	30	36	42	48	54
18	24	24	27	36	42	48	54	60
19	24	24	27	36	42	48	54	60
20	24	24	27	36	42	48	60	72
21	24	24	30	36	42	54	60	72
22	24	27	30	36	48	54	60	72
23	24	27	30	36	48	54	72	72
24	24	27	33	42	48	60	72	84
25	24	27	33	42	48	60	72	84
26	24	27	33	42	60	60	72	84
27	24	27	36	42	60	60	72	84
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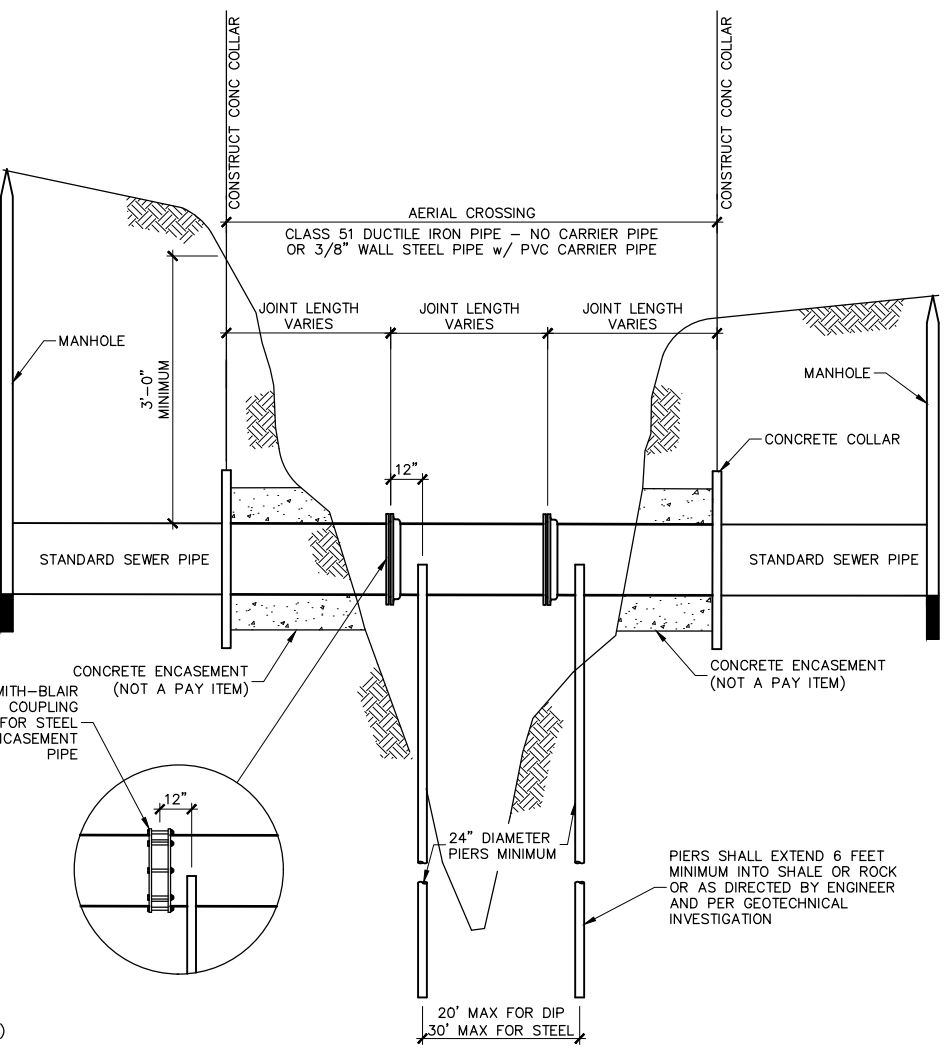
- NOTES:
- FOR DEPTHS OF COVER LESS THAN 2 FEET, CONCRETE ENCASEMENT IS REQUIRED.
  - FOR DEPTHS OF COVER GREATER THAN 30 FEET AND FOR PIPE SIZES LARGER THAN 24 INCHES, A SPECIFIC EMBEDMENT DESIGN IS REQUIRED.



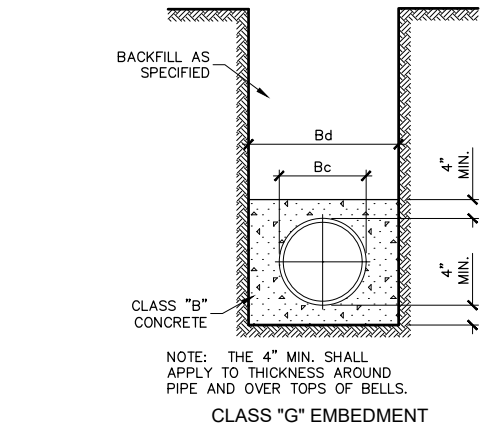
2 AERIAL CROSSING PIER CAP DETAIL NO SCALE



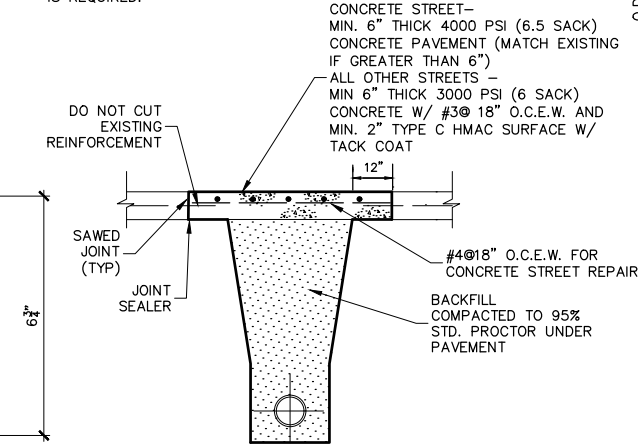
3 CONCRETE COLLAR DETAIL NO SCALE



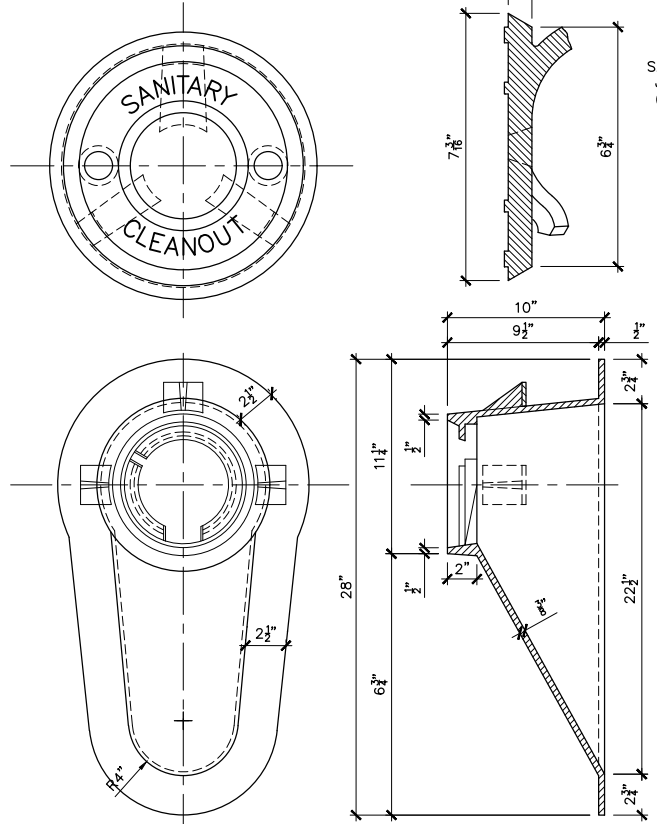
4 AERIAL CROSSING DETAIL NO SCALE



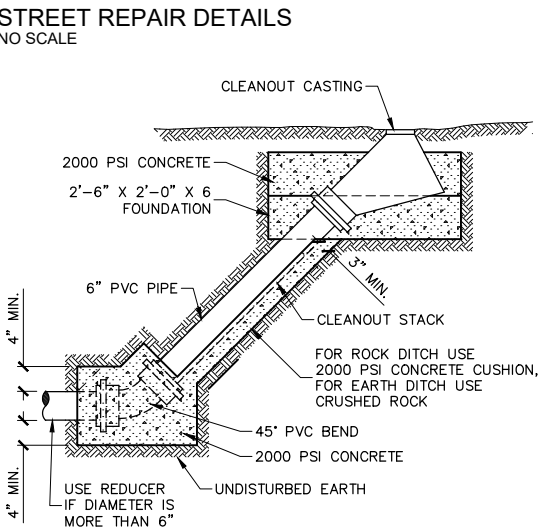
1 SEWER LINE EMBEDMENT DETAILS NO SCALE



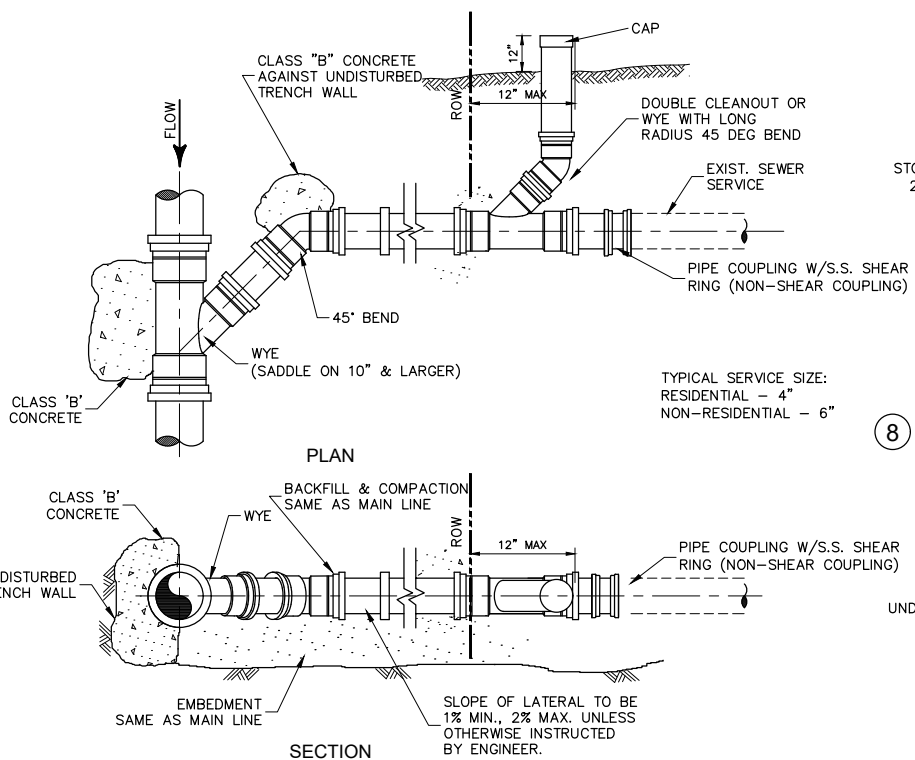
1A STREET REPAIR DETAILS NO SCALE



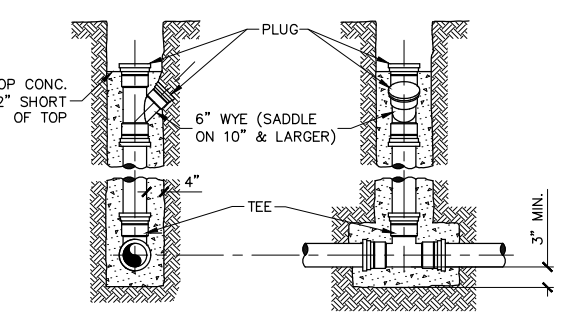
5 MAIN LINE CLEANOUT FRAME & COVER NO SCALE



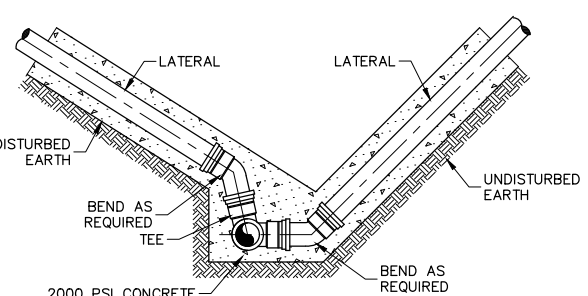
6 MAIN LINE SANITARY SEWER CLEANOUT NO SCALE



7 SANITARY SEWER SERVICE NO SCALE



8 P.V.C. DEEP CUT CONNECTION NO SCALE



9 P.V.C. LATERAL CONNECTION @ DITCH w/ SLOPED SIDES NO SCALE



**City of Lavon  
Traffic & Street Sign Standards**

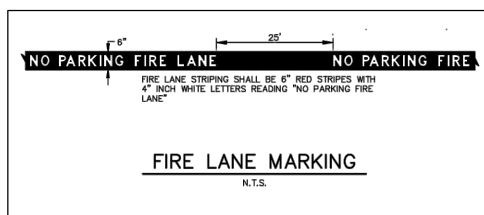
- Stop Signs: 30"  
Engineer grade prismatic retro-reflective
- Traffic Signs: 18" x 24" speed limit  
Engineer grade prismatic retro-reflective
- Street Signs: 9" x 36"  
.080 aluminum street name signs  
Engineer grade prismatic retro-reflective black with white copy  
Include City of Lavon 4-color logo (contact City for jpeg)  
3/4" radius corners
- Sign Posts: Posts shall be 2 3/8 O.D. galvanized steel tube sign post with a galvanized finish.
- Sign Clamps: Clamps and brackets shall be high strength aluminum.

Contact the Director of Public Works regarding other traffic sign requirements and more information.

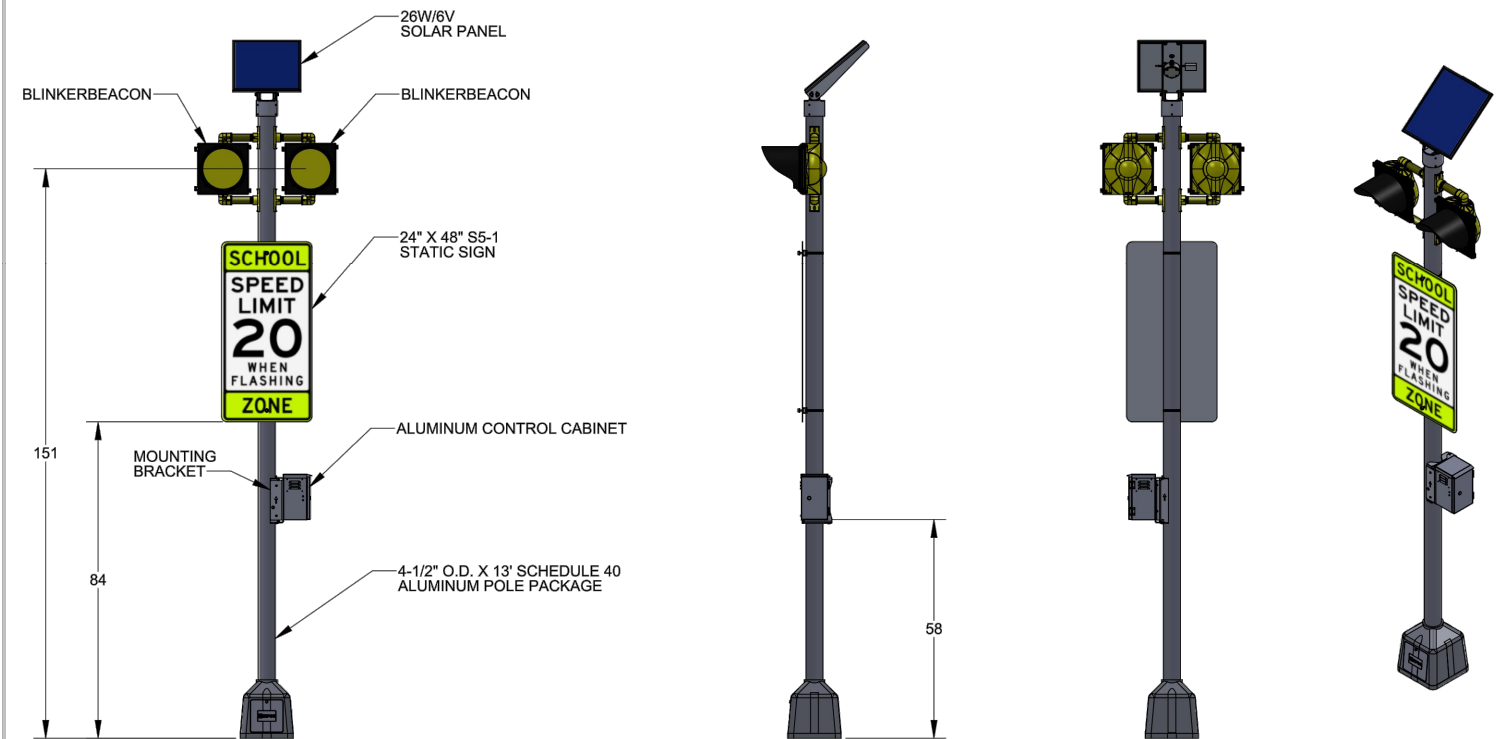
STREET SIGN SAMPLE:



① TYPICAL STREET SIGNAGE  
N.T.S.



③ TYPICAL FIRE LANE MARKING  
N.T.S.



- NOTES:**
1. ORIENT SOLAR PANEL TOWARDS SOUTHERN SKY FOR MAXIMUM SOLAR EXPOSURE
  2. CONTROL CABINET HEIGHT MAY VARY.
  3. WORM CLAMPS ARE PROVIDED, STANDARD 3/4" S/S BANDING IS RECOMMENDED
  4. J-BOLTS NOT SHOWN
  5. ALL DIMENSIONS ARE FOR REFERENCE ONLY.

SD0760

A	INITIAL RELEASE	-	JP	10/26/2022
REV.	DESCRIPTION	ECO	BY	DATE

DIMENSIONS ARE INCH AND TOLERANCES ARE AS FOLLOWS UNLESS OTHERWISE SPECIFIED

- X	±0.1
- XX	±0.02
- XXX	±0.008
ANGLES	±1"

**STAPCO** 5100 West Brown Deer Rd  
Brown Deer, WI 53223 USA  
7840 North 86th Street  
Milwaukee, WI 53224 USA

TITLE: SOLAR BLINKERBEACON SCHOOL SPEED LIMIT 20  
POLE ARRANGEMENT

DESIGNED BY: DD	DATE: 10/26/2022	SIZE: B	DOCUMENT NO. (SEE TABLE FOR P/N): SD0760	REVISION: A
DRAWN BY: DD	DATE: 10/26/2022	SCALE: 1:25	REFERENCE: Q22017734	SHT 1 of 1
APPROVED BY: JP	DATE: 10/26/2022	THIS DRAWING IS THE PROPERTY OF STAPCO (Traffic & Parking Control Company, Inc.) AND SHALL NOT BE DUPLICATED WITHOUT PERMISSION. 3		

② TYPICAL SCHOOL SPEED LIMIT SIGN  
N.T.S.



SCALE: AS NOTED

ADOPTED: MAY 2018  
ORD. NO.: 2018-05-01  
REVISION: 2019-12-01  
REVISION: 2024-06-01

REVISION:  
0 1" ORIGINAL SCALE

SHEET  
DS-M1



# CITY OF LAVON

## Agenda Brief

**MEETING: June 4, 2024**

**ITEM: 7 - D**

---

**Item:**

Discussion and action regarding Resolution No. **2024-06-02** approving and authorizing the execution of a Multiple Use Agreement with the Texas Department of Transportation (TxDOT) allowing the installation and operation of a fixed license plate reader system in TxDOT right of way.

**Background:**

On April 2, 2024, the City Council approved an agreement to pursue the installation of a fixed license plate reader system, specifically the Flock Group Inc. automatic license plate recognition cameras within the City.

A portion of the strategic placement of the system involves utilization of the TxDOT right of way for which a Multiple Use Agreement is required.

The Police Department is working with Flock Group to compile the exhibits for the Agreement.

**Financial Implications:**

Utilizing TxDOT right of way results in savings to the City.

***Staff Notes:***

Approval is recommended.

**Attachments:** Proposed Resolution and Agreement

**CITY OF LAVON, TEXAS**  
**RESOLUTION NO. 2024-06-02**

TxDOT Multiple Use Agreement - Flock Group Inc. License Plate Reader System

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS APPROVING AND AUTHORIZING THE EXECUTION OF A MULTIPLE USE AGREEMENT WITH THE TEXAS DEPARTMENT OF TRANSPORTATION ALLOWING THE INSTALLATION AND OPERATION OF A FIXED LICENSE PLATE READER SYSTEM IN TEXAS DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City Council for the City of Lavon has determined the installation of the Automatic License Plate Recognition (ALPR) Cameras will increase public safety and assist the Police Department in crime prevention efforts and strategies; and

**WHEREAS**, the City Council for the City of Lavon desires to engage with the Texas Department of Transportation (TxDOT) and asks that Flock Group Inc. be allowed to place ALPR Cameras in TxDOT right-of-way on behalf of the City of Lavon; and

**WHEREAS**, the City Council for the City of Lavon finds it to be in the public interest to approve a Multiple Use Agreement with TxDOT.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS, THAT:**

**SECTION 1.** The City Council hereby approves and authorizes the execution of a Multiple Use Agreement with TxDOT for the installation and operation of ALPR Cameras in TxDOT right-of-way, attached hereto and incorporated herein as “Exhibit A”.

**SECTION 2.** That this resolution shall take effect from and after the date of its passage.

**DULY PASSED AND APPROVED** by the City Council of the City of Lavon, Texas on the 4<sup>th</sup> day of June 2024.

\_\_\_\_\_  
Vicki Sanson, Mayor

ATTEST:

\_\_\_\_\_  
Rae Norton, City Secretary

**RESOLUTION 2024-06-02**

**EXHIBIT A**



**MULTIPLE USE AGREEMENT**

**STATE OF TEXAS §**

**COUNTY OF TRAVIS §**

**THIS AGREEMENT** made by the State of Texas by and between the Texas Department of Transportation, hereinafter referred to as "State", party of the first part, and City of Lavon \_\_\_\_\_, hereinafter called \_\_\_\_\_ City \_\_\_\_\_, party of the second part, is to become effective when fully executed by both parties.

**WITNESSETH**

**WHEREAS**, on the \_\_\_\_\_ day of \_\_\_\_\_, 20 24 \_\_\_\_\_, the governing body for the \_\_\_\_\_ City \_\_\_\_\_ entered into Resolution/Ordinance No. \_\_\_\_\_ hereinafter identified by reference, authorizing the \_\_\_\_\_ City 's participation in this agreement with the State; and

**WHEREAS**, the \_\_\_\_\_ City \_\_\_\_\_ has requested the State to permit the construction, maintenance and operation of a public \_\_\_\_\_ Fixed License Plate Reader System on the highway right of way, (ROADWAY \_\_\_\_\_ State Highway 78 CONTROL SECTION NO. \_\_\_\_\_ ). (General description of area including either the control number or GPS coordinates.)

shown graphically by the preliminary conceptual site plan in Exhibit "A" and being more specifically described by metes and bounds of Exhibit "B", which are attached and made a part hereof; and

**WHEREAS**, the State has indicated its willingness to approve the establishment of such facilities and other uses conditioned that the \_\_\_\_\_ City \_\_\_\_\_ will enter into agreements with the State for the purpose of determining the respective responsibilities of the \_\_\_\_\_ City \_\_\_\_\_ and the State with reference thereto, and conditioned that such uses are in the public interest and will not damage the highway facilities, impair safety, impede maintenance or in any way restrict the operation of the highway facility, all as determined from engineering and traffic investigations conducted by the State.

## AGREEMENT

**NOW, THEREFORE**, in consideration of the premises and of the mutual covenants and agreements of the parties hereto to be by them respectively kept and performed as hereinafter set forth, it is agreed as follows:

### **1. DESIGN AND CONSTRUCTION**

                     City will prepare or provide for the construction plans for the facility, and will provide for the construction work as required by said plans at no cost to the State. Said plans shall include the design of the access control, necessary horizontal and vertical clearances for highway structures, adequate landscape treatment, adequate detail to ensure compliance with applicable structural design standards, sufficient traffic control provisions, and general layout. They shall also delineate and define the construction responsibilities of both parties hereto. Completed plans will be submitted to State for review and approval and when approved shall be attached to the agreement and made a part thereof in all respects. Construction shall not commence until plans have been approved by the State. Any future revisions or additions shall be made after prior written approval of the State. Any sidewalks, curb ramps and other pedestrian elements to be constructed, either on site or off site, by the                      City shall be in accordance with the requirements of Title II of the Americans With Disabilities Act (ADA) and with the Texas Accessibility Standards (TAS). Elements constructed by the                      City and found not to comply with ADA or TAS shall be corrected at the entire expense of the                      City

### **2. INSPECTION**

Ingress and egress shall be allowed at all times to such facility for Federal Highway Administration personnel and State Forces and equipment when highway maintenance operations are necessary, and for inspection purposes; and upon request, all parking or other activities for periods required for such operations will be prohibited.

### **3. PARKING REGULATIONS**

Parking regulations shall be established limiting parking to single unit motor vehicles of size and capacity no greater than prescribed for 1<sup>1</sup>/<sub>2</sub> ton trucks, such vehicles to conform in size and use to governing laws. Parking shall be permitted only in marked spaces.

Parking shall be prohibited when a security threat, as determined by TxDOT, exists.

#### 4. PROHIBITION/SIGNS

Regulations shall be established prohibiting the parking of vehicles transporting flammable or explosive loads and prohibiting use of the area in any manner for peddling, advertising or other purposes not in keeping with the objective of a public facility. The erection of signs other than those required for proper use of the area will be prohibited. All signs shall be approved by the State prior to the actual erection.

#### 5. RESPONSIBILITIES

Timely maintenance, repair and operation of the facility shall be entirely the responsibility of the \_\_\_\_\_ City \_\_\_\_\_. Such responsibility shall not be transferred, assigned or conveyed to a third party without the advanced written approval of the State. These responsibilities expressly include the timely maintenance and repair of any portion of the facility necessary to comply with the Americans with Disabilities Act. Further, such responsibility shall include picking up trash, mowing and otherwise keeping the facility in a clean and sanitary condition, and surveillance by police patrol to eliminate the possible creation of a nuisance or hazard to the public. Hazardous or unreasonably objectionable smoke, fumes, vapor or odors shall not be permitted to rise above the grade line of the highway, nor shall the facility subject the highway to hazardous or unreasonably objectionable dripping, droppings or discharge of any kind, including rain or snow.

If the State determines that \_\_\_\_\_ City \_\_\_\_\_ has failed to comply with these responsibilities, it will perform the necessary work and charge \_\_\_\_\_ City \_\_\_\_\_ the actual cost of the work.

#### 6. FEES

Any fees levied for use of the facilities in the area shall be nominal and no more than are sufficient to defray the cost of construction, maintenance and operations thereof, and shall be subject to State approval.

A. Retention Period. The \_\_\_\_\_ City \_\_\_\_\_ shall maintain all books, documents, papers, accounting records and other evidence pertaining to fees collected and costs (hereinafter called the Records). The \_\_\_\_\_ City \_\_\_\_\_ shall make the records available during the term of the Agreement and for four years from the date the Agreement is terminated, until completion of all audits, or until pending litigation has been completely and fully resolved, whichever occurs last.

B. Audit Report. If fees are collected by the \_\_\_\_\_ City \_\_\_\_\_ for the use of the facility under this agreement, the \_\_\_\_\_ City \_\_\_\_\_ will provide the State an annual audit report detailing the fees collected for the use of the facility and the costs associated with constructing, maintaining, and operating the facility within the same period. If the report shows more fees collected than expenses for the construction, operation, or maintenance of the facility the \_\_\_\_\_ City \_\_\_\_\_ must provide a multiple year plan detailing how the additional revenue will be used for construction, operation, or maintenance of the facility.

C. Availability. The State or any of its duly authorized representatives, the Federal Highway Administration, the United States Department of Transportation, Office of Inspector General, and the Comptroller General shall have access to the \_\_\_\_\_ City 's records that are directly pertinent to this Agreement for the purpose of making audits and examinations.

#### **7. TERMINATION UPON NOTICE**

This provision is expressly made subject to the rights herein granted to both parties to terminate this agreement upon notice, and upon the exercise of any such right by either party, all obligations herein to make improvements to said facility shall immediately cease and terminate and

\_\_\_\_\_ City \_\_\_\_\_ shall be responsible for the facility's timely removal at no cost to the State.

If the State determines that \_\_\_\_\_ City \_\_\_\_\_ has failed to timely remove the facility, it will perform the necessary work and charge \_\_\_\_\_ City \_\_\_\_\_ the actual cost of the work.

#### **8. MODIFICATION/TERMINATION OF AGREEMENT**

If in the sole judgment of the State it is found at any future time that traffic conditions have so changed that the existence or use of the facility is impeding maintenance, damaging the highway facility, impairing safety or that the facility is not being properly operated, that it constitutes a nuisance, is abandoned, or if for any other reason it is the State's judgment that such facility is not in the public interest, this agreement under which the facility was constructed may be: (1) modified if corrective measures acceptable to both parties can be applied to eliminate the objectionable features of the facility; or (2) terminated and the use of the area as proposed herein discontinued.

#### **9. PROHIBITION OF STORAGE OF FLAMMABLE MATERIALS**

All structures located or constructed within the area covered by the agreement shall be fire resistant. The storage of flammable, explosive or hazardous materials is prohibited. Operations deemed to be a potential fire hazard shall be subject to regulation by the State.

#### **10. RESTORATION OF AREA**

The \_\_\_\_\_ City \_\_\_\_\_ shall provide written notification to the State that such facility will be discontinued for the purpose defined herein. The \_\_\_\_\_ City \_\_\_\_\_ shall, within thirty (30) days from the date of said notification, clear the area of all facilities that were its construction responsibility under this agreement and restore the area to a condition satisfactory to the State.

#### **11. PREVIOUS AGREEMENTS**

It is understood that this agreement in no way modifies or supersedes the terms and provisions of any existing agreements between the parties hereto.

**12. INDEMNIFICATION**

THE \_\_\_\_\_ City \_\_\_\_\_ WILL INDEMNIFY THE STATE AGAINST ANY AND ALL DAMAGES AND CLAIMS FOR DAMAGES, INCLUDING THOSE RESULTING FROM INJURY OR DEATH OF PERSONS OR FOR LOSS OF OR DAMAGE TO PROPERTY, ARISING OUT OF, INCIDENT TO OR IN ANY MANNER CONNECTED WITH THE CONSTRUCTION, OPERATION OR MAINTENANCE OF THE FACILITY, WHICH INDEMNIFICATION SHALL EXTEND TO AND INCLUDE ANY AND ALL COURT COSTS, ATTORNEY'S FEES AND EXPENSES RELATED TO OR CONNECTED WITH ANY CLAIMS OR SUITS FOR DAMAGES AND SHALL, IF REQUESTED IN WRITING BY THE STATE TO DO SO, ASSIST THE STATE OR RELIEVE THE STATE FROM DEFENDING ANY SUCH SUITS BROUGHT AGAINST IT. THE INDEMNIFICATION OF THE STATE SHALL EXTEND FOR A PERIOD OF TWO (2) YEARS BEYOND THE DATE OF TERMINATION OF THIS AGREEMENT.

DURING EACH YEAR WHILE THERE IS ANY LIABILITY BY REASON OF THE AGREEMENT CONTAINED IN THIS SUBSECTION OF THIS RESOLUTION, INCLUDING THE CALENDAR YEAR 2024, THE City of Lavon (CITY) SHALL COMPUTE AND ASCERTAIN THE RATE AND AMOUNT OF AD VALOREM TAX, BASED ON THE LATEST APPROVED TAX ROLLS OF SAID ENTITY, WITH FULL ALLOWANCES BEING MADE FOR TAX DELINQUENCIES AND COSTS OF TAX COLLECTION, WHICH WILL BE SUFFICIENT TO RAISE AND PRODUCE THE MONEY REQUIRED TO PAY ANY SUMS WHICH MAY BE OR BECOME DUE DURING ANY SUCH YEAR, IN NO INSTANCE TO BE LESS THAN TWO (2%) PER CENT OF SUCH OBLIGATION, TOGETHER WITH INTEREST THEREON, BECAUSE OF THE OBLIGATION HEREIN ASSUMED.

SAID RATE AND AMOUNT OF AD VALOREM TAX IS HEREBY ORDERED TO BE LEVIED AND IS HEREBY LEVIED AGAINST ALL TAXABLE PROPERTY IN SAID ENTITY FOR EACH YEAR WHILE ANY LIABILITY EXISTS BY REASON OF THE OBLIGATION UNDERTAKEN BY THIS SUBSECTION OF THIS RESOLUTION, AND SAID AD VALOREM TAX SHALL BE ASSESSED AND COLLECTED EACH SUCH YEAR UNTIL ALL OF THE OBLIGATIONS HEREIN INCURRED SHALL HAVE BEEN DISCHARGED AND ALL LIABILITY HEREUNDER DISCHARGED.

No party to this agreement intends to waive, relinquish, limit or condition its general governmental immunity from liability in any way.

Each party agrees and acknowledges that it is not an agent, servant, or employee of the other party and that under this provision each party is responsible only for its own acts and for those of its agents, servants, independent contractors or employees. Such responsibility includes, but is not

limited to any claims or amounts arising or recovered under the "Workers Compensation Law," the Texas Tort Claims Act, Chapter 101, Texas Civil Practice and Remedies Code; or any other applicable laws or regulations, all as time to time may be amended.

Nothing in this agreement shall be construed as creating any liability in favor of any third party against the State and the \_\_\_\_\_ City \_\_\_\_\_. Additionally, this agreement shall not ever be construed as relieving any third party from any liability against the State. Furthermore, the \_\_\_\_\_ City \_\_\_\_\_ shall become fully subrogated to the State's rights of recovery and shall be entitled to maintain any action over and against any third party who may be liable for damages. The State agrees to execute and deliver instruments and papers and to otherwise do that which is necessary to secure such rights.

### 13. INSURANCE

The \_\_\_\_\_ City \_\_\_\_\_, shall provide necessary safeguards to protect the public on State maintained highways including adequate insurance for payment of any damages which might result during the construction, maintenance, repair and operation of the facility. \_\_\_\_\_ City \_\_\_\_\_ shall include TxDOT as an additional insured by endorsement in \_\_\_\_\_ City \_\_\_\_\_'s commercial general liability insurance policy. Prior to beginning work on the State's right of way, the \_\_\_\_\_ City \_\_\_\_\_'s construction contractor shall submit to the State a completed insurance form (TxDOT Form No. 1560) or appropriate certificate of self-insurance and shall maintain the required coverage during the construction of the facility.

### 14. USE OF RIGHT OF WAY

It is understood that the State by execution of this agreement does not impair or relinquish the State's right to use such land for highway purposes when it is required for the construction or re-construction of the traffic facility for which it was acquired, nor shall use of the land under such agreement ever be construed as abandonment by the State of such land acquired for highway purposes, and the State does not purport to grant any interest in the land described herein but merely consents to such use to the extent its authority and title permits.

### 15. ADDITIONAL CONSENT REQUIRED

The State asserts only that it has sufficient title for highway purposes. The \_\_\_\_\_ City \_\_\_\_\_ shall be responsible for obtaining such additional consent, permits or agreement as may be necessary due to this agreement. This includes, but is not limited to, appropriate permits and clearances for environmental, ADA and public utilities.

### 16. FHWA ADDITIONAL REQUIREMENTS

If the Facility is located on the Federal-Aid Highway System, "ATTACHMENT A", which states additional requirements as set forth in the Federal Highway Administration's Title 23, Code of Federal Regulations, § 710, shall be attached to and become a part of this agreement.

## 17. CIVIL RIGHTS ASSURANCES

The \_\_\_\_\_ City \_\_\_\_\_, for itself, its personal representatives, successors and interests and assigns, as part of the consideration hereof, does hereby covenant and agree as a covenant running with the land that: (1) no persons, on the grounds of race, color, sex, age, national origin, religion or disabling condition, shall be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination in the use of said facility; (2) that in the construction of any improvements on, over or under such land and the furnishing of services thereon, no person on the ground of race, color, sex, age, national origin, religion or disabling condition, shall be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination; (3) that the \_\_\_\_\_ City \_\_\_\_\_ shall use the premises in compliance with all other requirements imposed by or pursuant to Title 49, Code of Federal Regulations, Department of Transportation, Subtitle A, Office of the Secretary, Part 21, Non-discrimination in Federally-Assisted programs of the Department of Transportation - Effectuation of Title VI of the Civil Rights Act of 1964, and as said Regulations may be amended.

That if in the event of any breach of the above non-discrimination covenants, the State shall have the right to terminate the agreement and reenter and repossess said land and the facilities thereon, and hold the same as if said agreement had never been made or issued.

## 18. AMENDMENTS

Any changes in the time frame, character or responsibilities of the parties hereto shall be enacted by a written amendment executed by both parties hereto.

## 19. LEGAL CONSTRUCTION

In case one or more of the provisions contained in this agreement shall for any reason be held invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any provision hereof and this agreement shall be construed as if such invalid, illegal, or unenforceable provision had never been contained in this agreement.

## 20. AUDIT

The State may conduct an audit or investigation of any aspect of this agreement. The \_\_\_\_\_ City \_\_\_\_\_ must provide the State with access to any information the State considers relevant to the investigation or audit. The audit can include, but is not limited to, any contract for construction or maintenance of any facility or structure authorized by this agreement or any contract to provide a service to the \_\_\_\_\_ City \_\_\_\_\_ if that service is authorized by this agreement.

**21. AUTHORITY OF STATE AUDITOR**

The state auditor may conduct an audit or investigation of any entity receiving funds from the state directly under the contract or indirectly through a subcontract under the contract. Acceptance of funds directly under the contract or indirectly through a subcontract under this contract acts as acceptance of the authority of the state auditor, under the direction of the legislative audit committee, to conduct an audit or investigation in connection with those funds. An entity that is the subject of an audit or investigation must provide the state auditor with access to any information the state auditor considers relevant to the investigation or audit.

**22. NOTICES**

All notices required under this agreement shall be mailed or hand delivered to the following respective addresses:

<b>STATE</b> (Mailing Address)	<b>(Name of other party)</b> (Mailing Address)
Texas Department of Transportation	City of Lavon
Maintenance Division	P.O. Box 340, 120 School Road
125 East 11th Street	Lavon, Texas 75166
Austin, Texas 78701-2483	

**23. TIMELY PAYMENT**

When required by any provision of this agreement requires a payment to be made to the State, the other party hereto shall within thirty (30) days from receipt of the State's written notification pay the State for the full cost of repairing any damages to the highway facility which may result from the other party's construction, maintenance, repair or operation of the facility.

**24. WARRANTS**

The signatories to this agreement warrant that each has the authority to enter into this agreement on behalf of the party represented.

List of Attached Exhibits:

- Exhibit A - General Layout
- Exhibit B - Metes and Bounds Description
- Exhibit C - Approved Construction Plans
- Exhibit D - Certificate of Insurance (TxDOT Form 1560)
- Exhibit E - Attachment A (FHWA Additional Requirements)

**IN WITNESS WHEREOF**, the parties have hereunto affixed their signature, the

\_\_\_\_\_ on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and the  
State on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

**STATE OF TEXAS**

Executed and approved for the Texas  
Transportation Commission for the purpose and  
effect of activating and/or carrying out the orders,  
and established policies or work programs  
heretofore approved and authorized by the Texas  
Transportation Commission.

\_\_\_\_\_  
(Name of other party)

By: \_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name

By: \_\_\_\_\_  
Director, Maintenance Division

\_\_\_\_\_  
Title

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Contact Office and Telephone No.

**APPROVAL RECOMMENDED:**

\_\_\_\_\_  
District Engineer

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

## ATTACHMENT A

Inasmuch as this project is on the Federal-Aid highway system, the following additional requirements as applicable with the Federal Highway Administration's Title 23, Code of Federal Regulations, § 710.105.

1. Any significant revision in the design or construction of the facility shall receive prior approval by the Texas Department of Transportation subject to concurrency by the FHWA.
2. Any change in the authorized use of real property interest shall receive prior approval by the Texas Department of Transportation subject to concurrence by the FHWA.
3. Real property interest shall not be transferred, assigned or conveyed to another party without prior Texas Department of Transportation approval subject to concurrence by the FHWA.
4. This agreement will be revocable in the event that the real property interest facility ceases to be used or is abandoned.

## EXHIBIT E



## **CITY OF LAVON**

### **Agenda Brief**

**MEETING: June 4, 2024**

**ITEM: 7 - E**

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**Item:**

Discussion and action regarding Board and Commission appointments – Planning and Zoning Commission and Lavon Volunteer Fire Department Board of Directors.

**Background:**

In addition to the elected City Council, several appointed boards and commissions provide invaluable contributions to the city through their service. The members of these boards are appointed by the City Council for specific terms of service.

The Seat 2 and Seat 4 terms of the Planning and Zoning Commission and the Seat 1 and Seat 3 terms of the LVFD Board of Directors expire in June 2024.

**Attachments:**

- 1) Spreadsheet – Boards & Commissions
- 2) Volunteer Applications available upon request

## City of Lavon Boards & Commissions

June 2024

Place	Elected / Appointed	Name	Term Expires	Appointment Notes
<b>City Council Members</b>				Elected
Mayor	6/19/2018	Vicki Sanson	11/2025	
Place One	10/17/2023	Mike Shepard	11/2024	
Place Two	11/7/2017	Mike Cook	11/2025	
Place Three	11/21/2016	Kay Wright	11/2024	
Place Four	1/15/2019	Ted Dill	11/2025	
Place Five	11/7/2022	Lindsey Hedge	11/2024	
<b>Economic Development Corp Board of Dir - Type B</b>				7 members; 4 CC/staff; county resident
Place 1, Chair	3/1/2009	Kay Wright	7/15/2024	
Place 2	7/17/2018	Manzelle Williams	7/15/2025	
Place 3	9/19/2017	Vicki Sanson	7/15/2024	
Place 4	7/16/2019	Rachel Dumas	7/15/2025	
Place 5	9/17/2019	Joe Serpette	7/15/2024	
Place 6	11/7/2023	Clinton McLure	7/15/2025	<i>formerly John Kell</i>
Place 7	5/4/2021	Jordan Williams	7/15/2024	
<b>Planning &amp; Zoning Commission</b>				5 members, residency req
Seat 1	5/3/2022	Jeffrey Cox	6/1/2025	
Seat 2	7/19/2016	Deborah Nabors	6/1/2024	
Seat 3	6/1/2021	Brad Tiegs	6/1/2025	
Seat 4	5/3/2022	Travis Jacob	6/1/2024	
Seat 5, Chair	8/16/2011	David Rosenquist	6/1/2025	
<b>Parks &amp; Recreation Board</b>				5 members; residency req
Seat 1	5/2/2023	Tracy Filo	1/1/2025	
Seat 2	11/7/2023	Mike Kurtz	1/1/2026	<i>formerly Kamil Kell</i>
Seat 3	1/17/2023	Julie Franco	1/1/2025	
Seat 4, Chair	3/17/2020	Jennifer White	1/1/2026	
Seat 5	2/2/2021	Joe Serpette	1/1/2025	
Alternate	11/7/2023	Karen Jacob	1/1/2026	<i>formerly Mike Cook</i>
<b>LVFD Board of Directors</b>				3 members
Seat 1	6/19/2018	Mindi Serkland	6/19/2024	
Seat 2	6/20/2023	Alex LeBron	6/19/2025	
Seat 3	5/3/2022	Kay Wright	6/19/2024	
<b>Boards that meet Ad Hoc:</b>				
<b>Board of Adjustment</b>				5 members and 2 alternate members
Seat 1	11/7/2023	Henry Vallejo	1/17/2025	<i>formerly Clinton McClure</i>
Seat 2	1/17/2023	Rachel Dumas	1/17/2026	
Seat 3	1/17/2023	John Franco	1/17/2025	
Seat 4	11/7/2023	Hilda Olivarez	1/17/2026	<i>formerly Karen Jacob</i>
Seat 5	1/17/2023	Mindi Serkland	1/17/2025	
Alternate -1	2/7/2023	David Rosenquist	1/17/2026	
Alternate -2	2/7/2023	Perry Elliott	1/17/2025	
<b>IFC Building Board of Appeals</b>				6 members
Chairperson	3/1/2022	Mayor		
Seat 1	3/1/2022	City Council - Place 1		
Seat 2	3/1/2022	City Council - Place 2		
Seat 3	3/1/2022	City Council - Place 3		
Seat 4	3/1/2022	City Council - Place 4		
Seat 5	3/1/2022	City Council - Place 5		



# CITY OF LAVON

## Agenda Brief

**MEETING: June 4, 2024**

**ITEM: 7 - F**

**Item:**

Discussion regarding scheduling an election to reauthorize the local sales and use tax in the City of Lavon to continue providing revenue to be used strictly for the maintenance and repair of streets.

**Background:**

Over twenty years ago, the residents of Lavon approved and have continued to reauthorize a one-quarter cent (0.25%) sales and use tax to be used for the maintenance and repair of city streets. On May 6, 2017, the residents of Lavon authorized and approved an additional one-quarter cent to bring the total sales and use tax for the maintenance and repair of city streets to one-half cent (0.5%). The City currently receives the maximum 2.0% sales and use taxes as follows:

- 1.0% General Fund - operations
- 0.5% Street Maintenance & Repair
- 0.5% Type B Economic Development

**STATE CODE REFERENCES**

**EFFECTIVE DATE** The tax will become effective on the first day of the first calendar quarter after one complete calendar quarter passes from the date the Comptroller receives the city's notice that voters have approved the tax. [Refer to Tax Code, Sect. 327.005.]

**REAUTHORIZATION** If an election to reauthorize the tax is not held before the tax expires or if votes cast in an election to reauthorize the tax do not favor reauthorization, the municipality may not call an election to authorize a new tax under this chapter before the first anniversary of the date on which the tax expired. [Refer to Tax Code, Sect. 327.007.]

The last special election where voters reauthorized the sales tax was May 1, 2021 and according to the Texas Comptroller's Office, the City of Lavon's street maintenance sales tax had an effective date of October 1, 2021 and is authorized for four years until September 30, 2025. The specific ballot language from the last election stated:

**PROPOSITION NO. 1**

The reauthorization of the local sales and use tax in the City of Lavon at the rate of one half of one percent (0.5%) to continue providing revenue for maintenance and repair of

municipal streets. The tax expires on the fourth anniversary of the date of this election unless the imposition of the tax is reauthorized.

By Texas state law, a municipal election for anything other than the general election of the mayor and city council is considered a special election.

The May 3, 2025 election is the latest uniform election date for consideration of continuance of the restricted sales tax prior to its expiration in September 2025.

If the City Council wished to combine the special election for the road sales tax election with the regular election of the governing body, consolidating the costs of conducting an election, the proposition could be considered with the November 7, 2024 regular election that is scheduled to be called in August 2024.

***Staff Notes:***

The staff is seeking direction for budget preparation and planning purposes.

**Attachments:** Information Sheet – Texas Comptroller



**Glenn Hegar**

Texas Comptroller of  
Public Accounts

# MUNICIPAL SALES AND USE TAX FOR STREET MAINTENANCE

Many Texas cities do not have the funds necessary to repair existing streets and sidewalks. **The Tax Code** authorizes cities to impose a special sales tax to fund maintenance of this important mobility infrastructure.

## WHO IS ELIGIBLE?

Cities may impose the tax if the new combined local sales tax rate will not exceed 2 percent.

[Refer to **Tax Code, Sect. 327.003(b).**]

## ELECTION IS REQUIRED

A city's voters must approve the additional sales tax. The city's governing body must adopt an ordinance calling for an election to be held on one of the two uniform election dates:

- the first Saturday in May; or
- the first Tuesday after the first Monday in November.

For guidance on the timing of elections, please contact the Secretary of State at 512-463-5650 or toll free at 800-252-8683. Additional information is available on the **Secretary of State's website**.

## BALLOT LANGUAGE

At the election to adopt the additional tax, a ballot must allow voters the choice of voting for or against the proposition. Following is the required ballot language:

"The adoption of a local sales and use tax in (name of municipality) at the rate of (insert appropriate rate) to provide revenue for maintenance and repair of municipal streets."

[Refer to **Tax Code, Sect. 327.006(b).**]



For sales tax elections called by the governing body, a municipality may combine measures to lower or repeal any dedicated or special purpose municipal sales tax into a single ballot proposition, and at the same time raise or adopt any other dedicated special purpose municipal sales tax. A combined sales tax proposition would have to contain substantially the same language as that required for lowering, repealing, raising or adopting each tax as appropriate. If a combined sales tax proposition were defeated, there would be no effect on existing sales taxes.

[Refer to **Tax Code, Sect. 321.109.**]

The tax may be used to **repair existing streets**, but **not build new streets**.

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**Street maintenance tax funds** may be spent on municipal streets including sidewalks.

## ELECTION RESULTS

If the election is successful, within 10 days of the election the city must declare the results of the election by resolution or an ordinance entered in its minutes of proceedings.

The resolution or ordinance must include statements showing:

- the date the election was held;
- the wording of the proposition;
- the total number of votes cast for and against the proposition; and
- the number of votes by which the proposition passed.

[Refer to **Tax Code, Sect. 321.405.**]

If the voters of a municipality adopt the street maintenance sales tax at an election held on the same date that another political subdivision adopts a sales and use tax or approves the increase in the rate of its sales and use tax, the combined rate of all sales and use taxes must not exceed 2 percent at any location in the municipality. If the combined rate exceeds 2 percent at any location in the municipality, the election to adopt a street maintenance sales tax will have no effect.

[Refer to **Tax Code, Sect. 327.003(c).**]

## EFFECTIVE DATE

The tax will become effective on the first day of the first calendar quarter after one complete calendar quarter passes from the date the Comptroller receives the city's notice that voters have approved the tax.

[Refer to **Tax Code, Sect. 327.005.**]

For example, if voters approve the tax in an election held in May and the city sends the election results to the Revenue Accounting, Tax Allocation Section of the Comptroller's office by the end of June, the tax would take

effect on Oct. 1. The city would begin receiving revenue from the Comptroller beginning with the December sales tax allocation.

## ADMINISTRATION OF THE TAX

The city should account for street maintenance sales tax funds separately from other revenues.

## USE OF THE STREET MAINTENANCE SALES TAX

Funds may be used only to maintain and repair municipal streets and sidewalks that existed on the date of the election to adopt the tax. It may not be used to build new streets.

[Refer to **Tax Code, Sect. 327.008.**]

## WHAT ARE "MUNICIPAL" STREETS?

A "municipal street" includes the entire width of a way (including sidewalks) held by a municipality in fee or by easement or dedication that has a part open for public use for vehicular travel. The term does not include a designated state or federal highway or road or a designated county road.

[Refer to **Tax Code, Sect. 327.001.**]



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## EXPIRATION AND REAUTHORIZATION OF THE TAX

For most cities, the street maintenance sales tax expires four years after it takes effect unless the city's voters authorize it to continue in an election held for that purpose. The election to reauthorize the tax must be held on one of the two uniform election dates noted previously. The ballot proposition language should permit voting for or against the following proposition:

“The reauthorization of the local sales and use tax in (name of municipality) at the rate of (insert appropriate rate) to continue providing revenue for maintenance and repair of municipal streets.”

The municipality must notify the Comptroller of the scheduled expiration not later than the 10th day after the municipality determines that the tax will expire.

[Refer to **Tax Code, Sect. 327.007.**]



If an election to reauthorize the tax is not held before the tax expires or if votes cast in an election to reauthorize the tax do not favor reauthorization, the municipality may not call an election to authorize a new tax under this chapter before the first anniversary of the date on which the tax expired.

[Refer to **Tax Code, Sect. 327.007.**]

## NEED MORE INFORMATION?

For more information about the street maintenance sales tax, call the Comptroller's Data Analysis and Transparency Division at 844-519-5672.

The **tax expires four years after it takes effect** unless voters authorize its extension.

FOR MORE INFORMATION,  
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[Comptroller.Texas.Gov](http://Comptroller.Texas.Gov)

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## Glenn Hegar

Texas Comptroller of Public Accounts

This publication is intended as a general guide and not as a comprehensive resource on the subjects covered. It is not a substitute for legal advice.

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Bank Franchise  
Franchise Tax

**800-252-7875**  
Spanish  
**800-531-1441**  
Fax on Demand (Most frequently request-  
ed Sales and Franchise tax forms)  
**800-252-1382**  
Clean Vehicle Incentive Program  
Manufactured Housing Tax  
Motor Vehicle Sales Surcharge,  
Rental and Seller Financed Sales Tax  
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Coin-Operated Machines Tax  
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Officer and Director Information

**800-862-2260**  
Cigarette and Tobacco

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TELEFILE: To File by Phone

**800-252-1389**  
GETPUB: To Order Forms and Publica-  
tions

**800-654-FIND (800-654-3463)**  
Treasury Find

**800-321-2274**  
Unclaimed Property Claimants  
Unclaimed Property Holders  
Unclaimed Property Name Searches  
512-463-3120 in Austin

**877-44RATE4 (877-447-2834)**  
Interest Rate



## **CITY OF LAVON**

### **Agenda Brief**

**MEETING: June 4, 2024**

**ITEM: 7 - G**

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**Item:**

Discussion and action regarding fall special events scope and scheduling.

**Background:**

The City of Lavon generally hosts three events in fall and early winter:

- National Night Out
- Fall Festival - Trick or Treat Street
- Christmas Tree Lighting

Over the past month, the city staff has spent time brainstorming ideas for National Night Out and the other events and would like to discuss the ideas with the City Council.