



AGENDA
MAY 7, 2024
LAVON CITY COUNCIL
CITY HALL, 120 SCHOOL ROAD, LAVON, TEXAS
REGULAR MEETING
6:30 PM

QUORUM NOTICE is hereby given that members of the City Council, Lavon Economic Development Corporation Board of Directors, and Parks and Recreation Board may be in attendance at a ribbon-cutting for the National Fitness Campaign Fitness Court preceding the meeting at City Hall Park on Tuesday, May 7, 2024 beginning at 5:30 P.M., 120 School Road Lavon, Texas. There will be no business discussed or action taken at the event.

1. PRESIDING OFFICER TO CALL THE MEETING TO ORDER AND ANNOUNCE THAT A QUORUM IS PRESENT

2. PLEDGE OF ALLEGIANCE AND INVOCATION

3. ITEMS OF INTEREST/COMMUNICATIONS

Members may identify community events, functions, and other activities.

4. CITIZENS COMMENTS

Citizens may provide comments (3-minute time limit/person). The response regarding items that are not on the agenda may be to request items be placed on a future agenda or referred to city staff.

5. PRESENTATION

Brandon Blythe, Chief, Wylie Fire Rescue - EMS regarding Emergency Medical Services

6. CONSENT AGENDA

Consent items are considered routine or non-controversial and will be voted on in one motion unless a separate discussion is requested by a member.

A. Approve the minutes of the April 16, 2024 meeting.

B. Receive Quarterly Investment Report.

C. Approve the final plat of the 78 East Commercial Addition, Ph 2 Block A, Lot 5 and Lot 1R consisting of two commercial lots on approximately 2.983 acres of land out of the William H. Moore Survey, Abstract No. 638, situated adjacent to and northwest of the intersection of SH 78 and Burnett Drive, Lavon, Collin County, TX (CCAD Property ID 2614649 and 2612610), subject to the city engineer's final approval of the civil plans.

D. Approve Resolution No. **2024-05-01** approving and authorizing the execution of a professional services reimbursement agreement with MA Elevon 429, LLC for professional services associated with the review of a proposed development agreement amendment relating to the Elevon project and to approximately 180 acres southeast of the intersection of FM 2755 and Watkins Road.

7. ITEMS FOR CONSIDERATION

A. Discussion and action regarding the site plan and landscape plan of the Lavon Retail Plaza east of and adjacent to 875 S. SH 78, Block A, Lot 3, SB Lavon Addition on 1.505 acres of land, northeast of the intersection of SH 78 and Burselson Dr., Lavon, Collin County, TX (CCAD Property ID 2614354).

B. Discussion and action regarding the site plan and landscape plan of the Daycare northeast of the intersection of SH 78 and Grand Heritage Blvd. and northwest of the intersection of SH 78 and Burnett Drive, Block A, Lot 5, 78 Commercial East Addition on 1.7 acres of land situated in the William H. Moore Survey, Abstract No. 638, Lavon, Collin County, TX (CCAD Property ID 2614649).

Lavon City Hall will provide reasonable accommodations for persons attending meetings. Please contact the City Secretary at 972-843-4220 no later than 48 hours prior to a meeting if you require special assistance | WiFi: Select Guest Portal

- C. Discussion and action regarding Ordinance No. **2024-05-01** amending Chapter 8 “Offenses and Additional Provisions”, Article 8.03 “Noise”, Section 8.03.001 “Definitions” of the Code of Ordinances of the City of Lavon to amend the scope and parameters of the City’s noise regulations.

8. EXECUTIVE SESSION

In accordance with Texas Government Code, Chapter 551, Subchapter D, the City Council may recess into Executive Session (closed meeting) pursuant to Section 551.072 to deliberate the purchase, exchange, lease, or value of real property: property in the vicinity of 120 School Rd.

9. RECONVENE FROM EXECUTIVE SESSION

Consider and take any action necessary as a result of each item listed in executive session.

10. SET FUTURE MEETINGS AND AGENDA

Requests may be made for items to be placed on a future agenda or for a special meeting.

May 21, 2024 – Regular Meeting

11. PRESIDING OFFICER TO ADJOURN THE MEETING

This is to certify that this Agenda was duly posted on the City’s website at www.cityoflavon.com and at City Hall and on or before 6:00 PM on May 3, 2024.

/ Rae Norton /

Rae Norton, City Secretary

1. Notice is hereby given that members of the City Council, Economic Development Corporation Board, Planning and Zoning Commission, and Parks and Recreation Board may attend the meeting.
2. The body reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City); §551.072 (discussing purchase, exchange, lease or value of real property); §551.074 (discussing personnel or to hear complaints against personnel); and §551.087 (discussing economic development negotiations). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.



CITY OF LAVON Agenda Brief

MEETING: May 7, 2024

ITEM: 4

Item:

PRESENTATION

Brandon Blythe, Chief, Wylie Fire Rescue - EMS regarding Emergency Medical Services

Background:

For over twenty years, the City of Lavon has participated in the Southeast Collin County Emergency Medical Services Coalition with the area entities, most recently including Wylie, Parker, St. Paul, and a portion of Collin County. The Coalition has contracted with a private ambulance service provider on behalf of the entities, most recently with Paramedics Plus.

As staff reported on April 16, 2024, this fiscal year is the last year of the Paramedics Plus contract and as renewal discussions began, it became apparent that Paramedics Plus would not be able to continue to provide a level of service sufficient to meet the requirements of Coalition members. Staff further reported that the City of Wylie had undertaken extensive research, staffing, and equipping steps to prepare to assume the duties of the contract EMS provider for the Coalition. On April 16, 2024, the City Council approved a Termination Agreement regarding Coalition Agreements and a Mutual Release between Collin County, the City of Lavon, the City of Parker, the Town of Saint Paul, and the City of Wylie, Texas.

Wylie Fire-Rescue will present information regarding the background and proposed alternative for service that could be provided pursuant to an interlocal agreement between the cities.



**MINUTES
APRIL 16, 2024
LAVON CITY COUNCIL
CITY HALL, 120 SCHOOL ROAD, LAVON, TEXAS
REGULAR MEETING**

ATTENDING: VICKI SANSON, MAYOR
MIKE COOK, PLACE 2, MAYOR PRO TEM
KAY WRIGHT, PLACE 3
TED DILL, PLACE 4
LINDSEY HEDGE, PLACE 5
ABSENT: MIKE SHEPARD, PLACE 1

1. MAYOR SANSON CALLED THE MEETING TO ORDER AT 6:30 P.M. AND ANNOUNCED A QUORUM PRESENT.

2. MAYOR SANSON LED THE RECITATION OF THE PLEDGE OF ALLEGIANCE AND DELIVERED THE INVOCATION.

3. ITEMS OF INTEREST/COMMUNICATIONS

- NFC Launch Day/Ribbon Cutting on May 7, 2024, at 5:30 p.m.
- Babysitter Training, May 29-31, 2024
- Camp 911 on June 5, 2024
- Bicycle Rodeo on July 25, 2024

4. CITIZENS COMMENTS

Kat Donnell, Round Town News updated the City Council on the response received for her recent article featuring and expressed for the Sexual Assault Awareness Program presented by the Lavon Police Department.

5. CONSENT AGENDA

A. Approve the minutes of the April 2, 2024, meeting.

MOTION: APPROVE CONSENT AGENDA.

MOTION MADE: WRIGHT

SECONDED: HEDGE

APPROVED: UNANIMOUS (Absent: Shepard)

6. ITEMS FOR CONSIDERATION

A. Public hearing, discussion, and action regarding the application of Michael Coleman, D&R Signs, LLC on behalf of Elevon homebuilders for a variance to Section 4.05.009 Prohibited Signs of the Code of Ordinances, Subsection (13) to permit an off-premises sign on property southeast of the intersection of SH 78 and Grand Heritage Boulevard, west of Geren Rd., Lavon, Texas (CCAD Property ID 2614352).

PRESENTATION of application.

City Manager Kim Dobbs provided information regarding the request for a sign variance.

PUBLIC HEARING, to receive comments regarding the proposed amendment.

At 6:40 p.m. Mayor Sanson opened the public hearing, and invited comments for or against the sign variance. There being no comments, Mayor Sanson closed the public hearing at 6:40 p.m.

Discussion and action regarding the request.

MOTION: APPROVE THE APPLICATION OF MICHAEL COLEMAN, D&R SIGNS, LLC ON BEHALF OF ELEVON HOMEBUILDERS FOR A VARIANCE TO SECTION 4.05.009 PROHIBITED SIGNS OF THE CODE OF ORDINANCES, SUBSECTION (13) TO PERMIT AN OFF-PREMISES SIGN ON PROPERTY SOUTHEAST OF THE INTERSECTION OF SH 78 AND GRAND HERITAGE BOULEVARD, WEST OF GEREN RD., LAVON, TEXAS.

MOTION MADE: WRIGHT
SECONDED: DILL
APPROVED: UNANIMOUS (Absent: Shepard)

- B. Discussion, and action regarding Ordinance No. 2024-04-01 amending Ordinance No. 2023-08-07, that approved and adopted a budget for the City for the fiscal year October 1, 2023 through September 30, 2024 to amend adopted revenues and expenditures of the Lavon Economic Development Corporation Fund budget; and declaring an effective date.**

Ms. Dobbs provided information regarding the Economic Development Corporation and Executive Director Pam Mundo detailed the request.

MOTION: APPROVE ORDINANCE NO. 2024-04-01 AMENDING ORDINANCE NO. 2023-08-07, THAT APPROVED AND ADOPTED A BUDGET FOR THE CITY FOR THE FISCAL YEAR OCTOBER 1, 2023, THROUGH SEPTEMBER 30, 2024, TO AMEND ADOPTED REVENUES AND EXPENDITURES OF THE LAVON ECONOMIC DEVELOPMENT CORPORATION FUND BUDGET; AND DECLARING AN EFFECTIVE DATE.

MOTION MADE: DILL
SECONDED: COOK
APPROVED: UNANIMOUS (Absent: Shepard)

- C. Discussion and action regarding Ordinance No. 2024-04-02 to amend the fee schedule adopted by Ordinance No. 2023-08-10 for the Fiscal Year October 1, 2023, through September 30, 2024, as amended, to amend sanitary sewer utility rates for commercial customers, multifamily customers, and out-of-city customers.**

Patty Parks, Parks Reconciliation Services, PLLC., presented details regarding the amendment to sewer rates.

MOTION: APPROVE ORDINANCE NO. 2024-04-02 TO AMEND THE FEE SCHEDULE ADOPTED BY ORDINANCE NO. 2023-08-10 FOR THE FISCAL YEAR OCTOBER 1, 2023, THROUGH SEPTEMBER 30, 2024, AS AMENDED, TO AMEND SANITARY SEWER UTILITY RATES FOR COMMERCIAL CUSTOMERS, MULTIFAMILY CUSTOMERS, AND OUT-OF-CITY CUSTOMER.

MOTION MADE: WRIGHT
SECONDED: HEDGE
APPROVED: UNANIMOUS (Absent: Shepard)

- D. Discussion and action regarding Resolution No. 2024-04-03 electing to utilize the standard allowance identified by the United States Department of the Treasury rules to determine revenue loss as allowed by the Coronavirus State & Local Fiscal Recovery Fund (SLFRF) / American Rescue Plan Act (ARPA) of 2021.**

Ms. Dobbs provided information regarding the election.

MOTION: APPROVE RESOLUTION NO. 2024-04-03 ELECTING TO UTILIZE THE STANDARD ALLOWANCE IDENTIFIED BY THE UNITED STATES DEPARTMENT OF THE TREASURY RULES TO DETERMINE REVENUE LOSS AS ALLOWED BY THE CORONAVIRUS STATE & LOCAL FISCAL RECOVERY FUND (SLFRF) / AMERICAN RESCUE PLAN ACT (ARPA) OF 2021.

MOTION MADE: WRIGHT
SECONDED: COOK

APPROVED: UNANIMOUS (Absent: Shepard)

- E. Discussion and action regarding Resolution No. 2024-04-04 approving and authorizing execution of a Termination Agreement regarding Southeast Collin County Emergency Medical Services Coalition Agreements and Mutual Release between Collin County, the City of Lavon, the City of Parker, the Town of Saint Paul, and the City of Wylie, Texas, and authorizing the City Manager to execute any necessary documents relating to the provision of regional emergency medical services.**

Ms. Dobbs provided information regarding the termination agreement and Lavon Fire Chief Danny Anthony was available for questions.

MOTION: APPROVE RESOLUTION NO. 2024-04-04 APPROVING AND AUTHORIZING EXECUTION OF A TERMINATION AGREEMENT REGARDING SOUTHEAST COLLIN COUNTY EMERGENCY MEDICAL SERVICES COALITION AGREEMENTS AND MUTUAL RELEASE BETWEEN COLLIN COUNTY, THE CITY OF LAVON, THE CITY OF PARKER, THE TOWN OF SAINT PAUL, AND THE CITY OF WYLIE, TEXAS, AND AUTHORIZING THE CITY MANAGER TO EXECUTE ANY NECESSARY DOCUMENTS RELATING TO THE PROVISION OF REGIONAL EMERGENCY MEDICAL SERVICES.

MOTION MADE: COOK

SECONDED: DILL

APPROVED: UNANIMOUS (Absent: Shepard)

- F. Discussion and action regarding Resolution No. 2024-04-05 approving and authorizing the execution of Change Requests No. 22 and No. 23 to the construction contract with Mart, Inc. for the City of Lavon Fire Department and Public Works Facilities Expansion (CIP-9) Construction Project in an amount not to exceed \$3,905.13 for the addition of gas regulators and \$3,226.19 for installation of electrical circuits, respectively.**

Ms. Dobbs provided information regarding the change order request.

MOTION: APPROVE RESOLUTION NO. 2024-04-05 APPROVING AND AUTHORIZING THE EXECUTION OF CHANGE REQUESTS NO. 22 AND NO. 23 TO THE CONSTRUCTION CONTRACT WITH MART, INC. FOR THE CITY OF LAVON FIRE DEPARTMENT AND PUBLIC WORKS FACILITIES EXPANSION (CIP-9) CONSTRUCTION PROJECT IN AN AMOUNT NOT TO EXCEED \$3,905.13 FOR THE ADDITION OF GAS REGULATORS AND \$3,226.19 FOR INSTALLATION OF ELECTRICAL CIRCUITS, RESPECTIVELY.

MOTION MADE: COOK

SECONDED: DILL

APPROVED: UNANIMOUS (Absent: Shepard)

7. BUDGET INTRODUCTION AND WORK SESSION

Ms. Dobbs presented goals and objectives identified in the Strategic Plan, City Council budget priorities, regulatory requirements, financial status for current fiscal year, budget calendar, anticipated commitments, departmental service levels and requests, tax rate, fee schedule, Capital Improvements Plan (CIP) updates, FY 2023-24 projections, and proposed revenues and expenditures for FY 2024-25. The direction provided and consensus of the City Council was for preparation of an operating budget that maintained the same or improved levels of service with no increase in the adopted tax rate.

8. DEPARTMENT REPORTS

- A. Police Services** – Sergeant Carissa Vargas provided information regarding reports, detailed upcoming programs, and referenced information provided in the meeting packet.
- B. Fire Services** – Fire Chief Danny Anthony referenced the reports in the meeting packet and answered questions.

- C. **Public Works** – Director of Public Works David Carter provided general information regarding the public works operations.
- D. **Administration** – Ms. Dobbs referenced reports in the meeting packet including building permits; CWD service; Collin County tax collection; sales tax; finance report; CIP budget report; TxDOT projects report; and administration and staff report.

9. EXECUTIVE SESSION

At 8:06 p.m. in accordance with Texas Government Code, Chapter 551, the City Council recessed into Executive Session (closed meeting) pursuant to Section 551.072 to deliberate the purchase, exchange, lease, or value of real property: property in the vicinity of 120 School Rd.

10. RECONVENE INTO REGULAR SESSION

In accordance with Texas Government Code, Section 551.001, et seq., Mayor Sanson reconvened the meeting at 8:13 p.m. and stated no action was taken.

11. SET FUTURE MEETINGS AND AGENDA

May 7, 2024 – Regular Meeting

12. MAYOR SANSON ADJOURNED THE CITY COUNCIL MEETING AT 8:14 P.M.

DULY PASSED and APPROVED by the City Council of Lavon, Texas, on this 7th day of May 2024.

Vicki Sanson, Mayor

ATTEST:

Rae Norton, City Secretary



CITY OF LAVON

Agenda Brief

MEETING: May 7, 2024

ITEM: 6 - B

Item:

CONSENT AGENDA

Receive Quarterly Investment Report.

Background:

The Public Funds Investment Act (PFIA) requires that regular investment reports be provided to the City Council.

City of Lavon Investment Policy:

16. Reporting [PFIA 2256.023]

The City Manager, as an Investment Officer, shall provide to the City Council quarterly investment reports which provide a clear picture of the status of the current investment portfolio and conform to the requirements of the PFIA.

The report will be prepared jointly by all involved in the investment activity and be signed by all Investment Officers.

Prices used for the calculation of market values shall be obtained from an independent source.

Staff Notes:

Approval of the consent agenda item provides acknowledgement of receipt of the report and is the only action necessary.

Attachment: Investment Report for Quarter ending March 31, 2024
Investment Pool newsletters

**City of Lavon, TX
Quarterly Investment Report
January - March 2024**

	Market Value 12/31/2023	Changes	Market Value 3/31/2024
Consolidated Funds	37,990,543.77	6,350,202.90	44,340,746.67
Total Investments	37,990,543.77	6,350,202.90	44,340,746.67
Weighted Average Maturity in days			1.0
Fully Accrued Interest for the quarter			0.00
Interest Earned and Received for the quarter			372,099.03
Average Yield to Maturity for quarter			4.172%
Average Yield to Maturity for quarter for TexStar			5.307%
Average Yield to Maturity for 4-week Treasury Bill for quarter			5.280%
Average Yield to Maturity for 26-week Treasury Bill for quarter			5.073%

This quarterly report is in full compliance with the investment policy and strategy as established for the City of Lavon TX and the Public Funds Investment Act (Chapter 2256, Government Code).

Kim Dobbs, City Manager

Diane Cuellar, Accounting Administrator

**City of Lavon, TX
Investment Transactions
Quarter Ending March 31, 2024**

Bank	Name of Account	Book Value 12/31/23	Deposits & Withdrawals	Interest Received	Interest Accrued	Book Value 3/31/24	Market Value 3/31/24
Consolidated Funds							
Independent	General Fund	968,700.93	-463,811.12	2,629.09	0.00	507,518.90	507,518.90
Independent	Savings	2,988,545.88	5,284,248.97	33,702.38	0.00	8,306,497.23	8,306,497.23
Independent	Dedicated	1,955,118.82	1,199,398.16	9,507.94	0.00	3,164,024.92	3,164,024.92
Independent	Utility Fund	2,985,361.07	445,701.63	0.00	0.00	3,431,062.70	3,431,062.70
Independent	Sewer Tap	5,080,383.89	2,008,957.31	27,150.05	0.00	7,116,491.25	7,116,491.25
Independent	Interest & Sinking	1,644,822.85	-969,337.70	4,305.91	0.00	679,791.06	679,791.06
Independent	Lakepointe PID 2	460,698.45	-403,047.16	2,866.00	0.00	60,517.29	60,517.29
Independent	Trails of Lavon	1,098,231.17	0.00	15,086.69	0.00	1,113,317.86	1,113,317.86
Independent	Lavon Volunteer Fire Dept	5,005.13	-403.86	0.00	0.00	4,601.27	4,601.27
LOGIC	ARPA-CLFRF	909,354.91	0.00	12,499.24	0.00	921,854.15	921,854.15
LOGIC	TIRZ #2	67.52	0.00	0.91	0.00	68.43	68.43
LOGIC	Series 2023 Construction	15,681,498.48	0.00	215,544.72	0.00	15,897,043.20	15,897,043.20
TexSTAR	Series 2020 Construction	3,086,979.65	-1,204,620.67	29,513.96	0.00	1,911,872.94	1,911,872.94
TexSTAR	Heritage PID Zone 1	391,764.34	-311,844.75	5,093.61	0.00	85,013.20	85,013.20
TexSTAR	Heritage PID Zone 2	452,315.08	21,398.24	6,258.51	0.00	479,971.83	479,971.83
TexSTAR	Heritage PID Zone 3	75,484.97	8,931.90	1,096.46	0.00	85,513.33	85,513.33
TexSTAR	Heritage PID Zone 4	206,210.63	362,532.92	6,843.56	0.00	575,587.11	575,587.11
	Total Investments	37,990,543.77	5,978,103.87	372,099.03	0.00	44,340,746.67	44,340,746.67

**City of Lavon, TX
Investment Maturities
Quarter Ending March 31, 2024**

Bank	Security Type*	Maturity Date	Name of Account	Book Value 3/31/24	Days to Maturity	WAM
Consolidated Funds						
Independent	NOW	n/a	General Fund	507,518.90	1	0.01
Independent	NOW	n/a	Savings	8,306,497.23	1	0.19
Independent	NOW	n/a	Dedicated	3,164,024.92	1	0.07
Independent	NOW	n/a	Utility Fund	3,431,062.70	1	0.08
Independent	NOW	n/a	Sewer Tap	7,116,491.25	1	0.16
Independent	NOW	n/a	Interest & Sinking	679,791.06	1	0.02
Independent	NOW	n/a	Lakepointe PID 2	60,517.29	1	0.00
Independent	NOW	n/a	Trails of Lavon	1,113,317.86	1	0.03
Independent	NOW	n/a	Lavon Volunteer Fire Dept	4,601.27	1	0.00
LOGIC	LGIP	n/a	ARPA-CLFRF	921,854.15	1	0.02
LOGIC	LGIP	n/a	TIRZ #2	68.43	1	0.00
LOGIC	LGIP	n/a	Series 2023 Construction	15,897,043.20	1	0.36
TexSTAR	LGIP	n/a	Series 2020 Construction	1,911,872.94	1	0.04
TexSTAR	LGIP	n/a	Heritage PID Zone 1	85,013.20	1	0.00
TexSTAR	LGIP	n/a	Heritage PID Zone 2	479,971.83	1	0.01
TexSTAR	LGIP	n/a	Heritage PID Zone 3	85,513.33	1	0.00
TexSTAR	LGIP	n/a	Heritage PID Zone 4	575,587.11	1	0.01
Total Investments				44,340,746.67		1.00

* NOW - Negotiable Order of Withdrawal, LGIP - Local Government Investment Pool

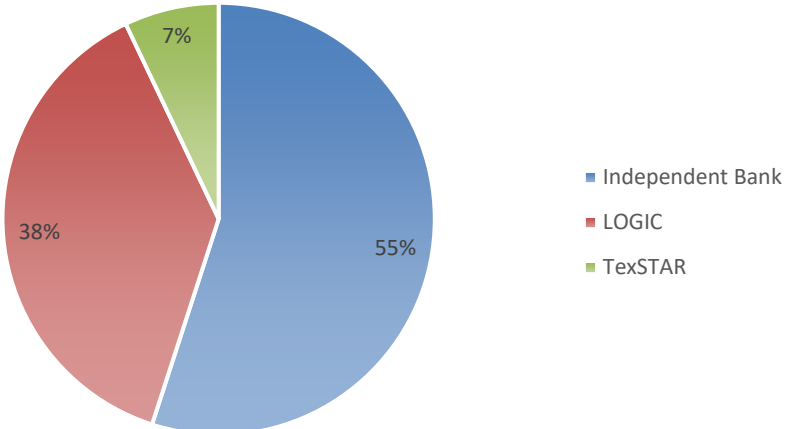
n/a These investments have no maturity date, as they are available upon demand.

**City of Lavon, TX
Investments by Type
Quarter Ending March 31, 2024**

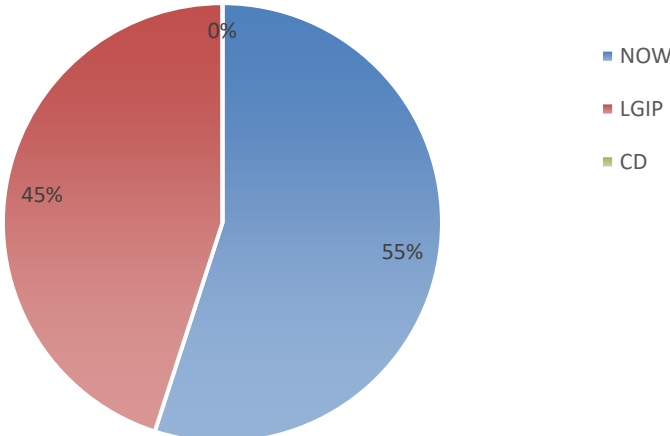
Bank	Security Type*	Name of Account	Book Value 3/31/24	Total by Type	Percent by Type
Independent	NOW	General Fund	507,518.90		
Independent	NOW	Savings	8,306,497.23		
Independent	NOW	Dedicated	3,164,024.92		
Independent	NOW	Utility Fund	3,431,062.70		
Independent	NOW	Sewer Tap	7,116,491.25		
Independent	NOW	Interest & Sinking	679,791.06		
Independent	NOW	Lakepointe PID 2	60,517.29		
Independent	NOW	Trails of Lavon	1,113,317.86		
Independent	NOW	Lavon Volunteer Fire Dept	4,601.27		
				24,383,822.48	55%
LOGIC	LGIP	ARPA-CLFRF	921,854.15		
LOGIC	LGIP	TIRZ #2	68.43		
LOGIC	LGIP	Series 2023 Construction	15,897,043.20		
				16,818,965.78	38%
TexSTAR	LGIP	Series 2020 Construction	1,911,872.94		
TexSTAR	LGIP	Heritage PID Zone 1	85,013.20		
TexSTAR	LGIP	Heritage PID Zone 2	479,971.83		
TexSTAR	LGIP	Heritage PID Zone 3	85,513.33		
TexSTAR	LGIP	Heritage PID Zone 4	575,587.11		
				3,137,958.41	7%
		Total Investments	44,340,746.67	44,340,746.67	100%

* NOW - Negotiable Order of Withdrawal, LGIP - Local Government Investment Pool

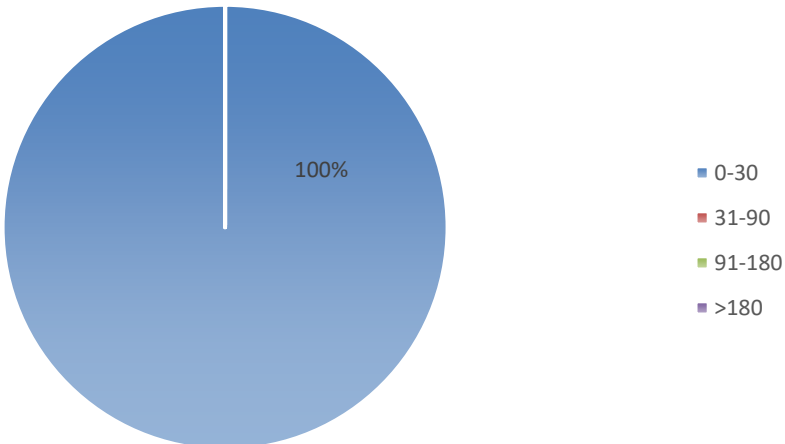
Investments by Financial Institutions



Investments by Type



Investments by Maturity





PERFORMANCE

As of March 31, 2024

Current Invested Balance	\$ 11,373,415,394.49
Weighted Average Maturity (1)	35 Days
Weighted Average Life (2)	66 Days
Net Asset Value	0.999936
Total Number of Participants	1025
Management Fee on Invested Balance	0.06%*
Interest Distributed	\$ 52,823,991.58
Management Fee Collected	\$ 687,423.11
% of Portfolio Invested Beyond 1 Year	5.16%
Standard & Poor's Current Rating	AAAm

Rates reflect historical information and are not an indication of future performance.

March Averages

Average Invested Balance	\$ 11,585,682,041.61
Average Monthly Yield, on a simple basis	5.2986%
Average Weighted Maturity (1)	36 Days
Average Weighted Life (2)	68 Days

Definition of Weighted Average Maturity (1) & (2)

(1) This weighted average maturity calculation uses the SEC Rule 2a-7 definition for stated maturity for any floating rate instrument held in the portfolio to determine the weighted average maturity for the pool. This Rule specifies that a variable rate instruction to be paid in 397 calendar days or less shall be deemed to have a maturity equal to the period remaining until the next readjustment of the interest rate.
(2) This weighted average maturity calculation uses the final maturity of any floating rate instruments held in the portfolio to calculate the weighted average maturity for the pool.

The maximum management fee authorized for the TexSTAR Cash Reserve Fund is 12 basis points. This fee may be waived in full or in part in the discretion of the TexSTAR co-administrators at any time as provided for in the TexSTAR Information Statement.

NEW PARTICIPANTS

We would like to welcome the following entity who joined the TexSTAR program in March:

* Henderson County Levee Improvement District No. 3

HOLIDAY REMINDER

In observance of **Memorial Day, TexSTAR will be closed on Monday, May 27, 2024.** All ACH transactions initiated on Friday, May 24th will settle on Tuesday, May 28th. Notification of any early transaction deadlines on the business day preceding this holiday will be sent by email to the primary contact on file for all TexSTAR participants. Please plan accordingly for your liquidity needs.

ECONOMIC COMMENTARY

Market review

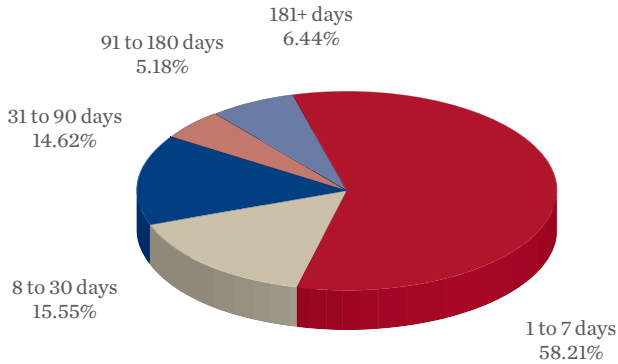
The market narrative changed considerably since the start of the year. First quarter data so far appeared to show strong growth, resilient labor markets and sticky inflation, which thwarted expectations for aggressive rate cuts and increased investor confidence in the Federal Reserve's (Fed's) ability to sustain the ongoing expansion. Yet, at its March meeting, the Federal Open Market Committee (FOMC) maintained its expectation for rate cuts this year. Data since the end of January were mixed, showing a continued, very gradual, cooling in economic growth and the labor market, but somewhat stronger than expected inflation. The Atlanta Fed's GDPNOW forecast for first quarter GDP growth slipped from 3.0% early in the quarter to 2.3% and most recently was upgraded to 2.8%. Consumer spending shifted into lower gear from last year but has remained solid thus far. Retail sales rose a healthy 0.6% month-over-month (m/m) in February after edging down 1.1% in January. February's non-farm payrolls (NFP) revisions in the Employment report lent credence to the idea that the strong January figures were probably distorted by seasonal factors, both across wages and job gains. Nevertheless, the headline payroll growth numbers for February were still solid at 275K, beating consensus expectations, with the three-month moving average hovering around 260K. Altogether, the data suggests that labor market dynamics are continuing to rebalance, albeit at a slow pace. Elsewhere, employment in the household survey fell, contributing to a rise in the unemployment rate from 3.7% to 3.9%, its highest print in more than two years. Wage growth moderated to 0.1% m/m after jumping in January.

How has the economy created so many jobs while the unemployment rate has ticked up? While the two measures are derived from two different surveys, the answer appears to be immigration. The recent surge in immigration may have potentially addressed the labor shortage caused by early retirements throughout the pandemic.

(continued page 4)

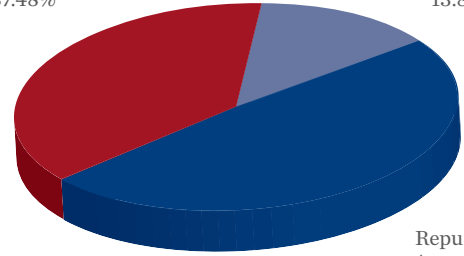
INFORMATION AT A GLANCE

PORTFOLIO BY TYPE OF INVESTMENT AS OF MARCH 31, 2024



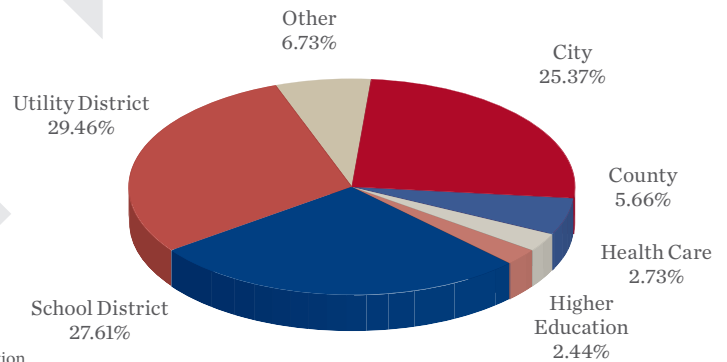
Treasuries
37.48%

Agencies
13.84%



Repurchase
Agreements
48.68%

PORTFOLIO BY MATURITY AS OF MARCH 31, 2024 (1)



DISTRIBUTION OF PARTICIPANTS BY TYPE AS OF MARCH 31, 2024

(1) Portfolio by Maturity is calculated using WAM (1) definition for stated maturity. See page 1 for definition

HISTORICAL PROGRAM INFORMATION

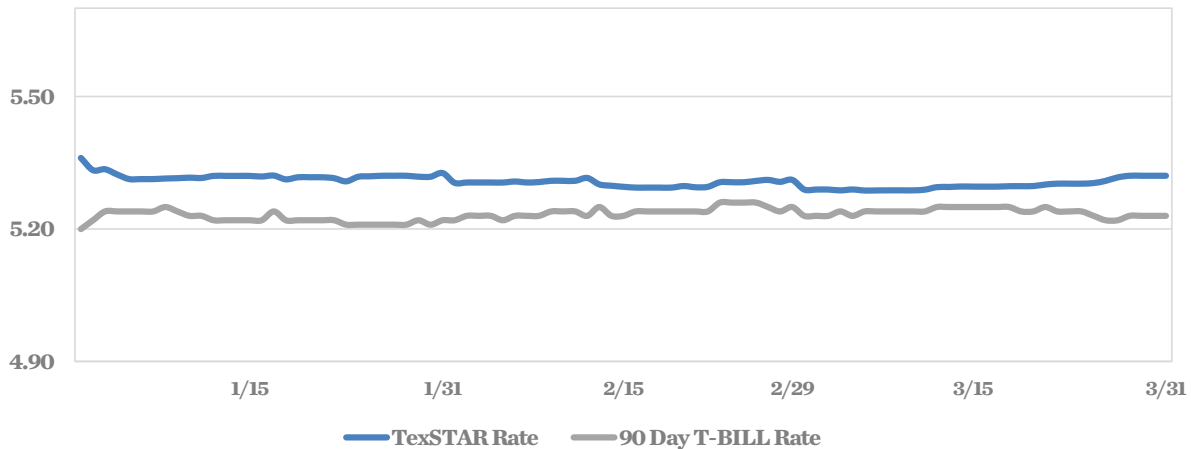
MONTH	AVERAGE RATE	BOOK VALUE	MARKET VALUE	NET ASSET VALUE	WAM (1)	WAL (2)	NUMBER OF PARTICIPANTS
Mar 24	5.2986%	\$11,373,415,394.49	\$11,372,687,872.41	0.999936	36	68	1025
Feb 24	5.3035%	11,928,691,803.89	11,927,911,436.19	0.999934	36	69	1024
Jan 24	5.3200%	11,483,316,119.03	11,483,741,551.85	1.000037	42	77	1024
Dec 23	5.3378%	10,557,076,424.02	10,557,101,303.24	0.999972	44	85	1037
Nov 23	5.3307%	10,148,883,026.83	10,148,191,305.12	0.999931	33	74	1034
Oct 23	5.3231%	10,017,668,653.01	10,016,121,800.83	0.999845	29	69	1031
Sep 23	5.3105%	9,992,445,950.80	9,990,730,955.61	0.999816	29	56	1028
Aug 23	5.2974%	10,207,693,267.12	10,205,377,223.94	0.999773	26	49	1023
Jul 23	5.1148%	10,852,471,505.08	10,849,665,890.42	0.999741	22	47	1021
Jun 23	5.0764%	10,475,876,514.08	10,473,945,855.73	0.999806	22	50	1020
May 23	5.0471%	10,704,350,596.85	10,702,720,616.60	0.999847	20	45	1019
Apr 23	4.8292%	10,940,711,794.05	10,941,057,413.24	1.000031	17	42	1017

PORTFOLIO ASSET SUMMARY AS OF MARCH 31, 2024

	BOOK VALUE	MARKET VALUE
Uninvested Balance	\$ 456.21	\$ 456.21
Accrual of Interest Income	18,700,692.04	18,700,692.04
Interest and Management Fees Payable	(52,748,386.95)	(52,748,386.95)
Payable for Investment Purchased	(128,933,277.20)	(128,933,277.20)
Repurchase Agreement	5,615,199,999.93	5,615,199,999.93
Government Securities	5,921,195,910.46	5,920,468,388.38
TOTAL	\$ 11,373,415,394.49	\$ 11,372,687,872.41

Market value of collateral supporting the Repurchase Agreements is at least 102% of the Book Value. The portfolio is managed by J.P. Morgan Chase & Co. and the assets are safekept in a separate custodial account at the Federal Reserve Bank in the name of TexSTAR. The only source of payment to the Participants are the assets of TexSTAR. There is no secondary source of payment for the pool such as insurance or guarantee. If you require a copy of the portfolio, please contact TexSTAR Participant Services.

TEXSTAR VERSUS 90-DAY TREASURY BILL



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DAILY SUMMARY FOR MARCH 2024

DATE	MNY MKT FUND EQUIV. [SEC Std.]	DAILY ALLOCATION FACTOR	INVESTED BALANCE	MARKET VALUE PER SHARE	WAM DAYS (1)	WAL DAYS (2)
3/1/2024	5.2894%	0.000144914	\$11,748,468,933.14	0.999955	37	69
3/2/2024	5.2894%	0.000144914	\$11,748,468,933.14	0.999955	37	69
3/3/2024	5.2894%	0.000144914	\$11,748,468,933.14	0.999955	37	69
3/4/2024	5.2875%	0.000144863	\$11,802,594,683.26	0.999943	36	69
3/5/2024	5.2895%	0.000144918	\$11,777,901,459.54	0.999957	37	69
3/6/2024	5.2872%	0.000144856	\$11,802,815,351.92	0.999953	37	69
3/7/2024	5.2874%	0.000144860	\$11,736,482,583.39	0.999962	38	70
3/8/2024	5.2876%	0.000144866	\$11,665,015,132.04	0.999977	37	69
3/9/2024	5.2876%	0.000144866	\$11,665,015,132.04	0.999977	37	69
3/10/2024	5.2876%	0.000144866	\$11,665,015,132.04	0.999977	37	69
3/11/2024	5.2891%	0.000144906	\$11,746,941,028.46	0.999973	36	68
3/12/2024	5.2948%	0.000145062	\$11,702,319,850.09	0.999951	37	69
3/13/2024	5.2952%	0.000145073	\$11,699,256,534.19	0.999945	36	68
3/14/2024	5.2963%	0.000145104	\$11,763,330,926.97	0.999918	36	68
3/15/2024	5.2960%	0.000145096	\$11,723,991,428.13	0.999916	37	68
3/16/2024	5.2960%	0.000145096	\$11,723,991,428.13	0.999916	37	68
3/17/2024	5.2960%	0.000145096	\$11,723,991,428.13	0.999916	37	68
3/18/2024	5.2969%	0.000145120	\$11,641,066,258.42	0.999922	36	68
3/19/2024	5.2970%	0.000145122	\$11,601,314,734.89	0.999922	37	69
3/20/2024	5.2973%	0.000145132	\$11,590,543,080.79	0.999938	36	68
3/21/2024	5.3007%	0.000145226	\$11,485,857,269.11	0.999929	37	68
3/22/2024	5.3027%	0.000145280	\$11,333,005,052.58	0.999938	36	68
3/23/2024	5.3027%	0.000145280	\$11,333,005,052.58	0.999938	36	68
3/24/2024	5.3027%	0.000145280	\$11,333,005,052.58	0.999938	36	68
3/25/2024	5.3040%	0.000145314	\$11,325,569,795.78	0.999942	36	67
3/26/2024	5.3090%	0.000145451	\$11,313,810,613.59	0.999940	36	68
3/27/2024	5.3168%	0.000145665	\$11,261,235,903.92	0.999954	36	68
3/28/2024	5.3205%	0.000145767	\$11,373,415,394.49	0.999936	35	66
3/29/2024	5.3205%	0.000145767	\$11,373,415,394.49	0.999936	35	66
3/30/2024	5.3205%	0.000145767	\$11,373,415,394.49	0.999936	35	66
3/31/2024	5.3205%	0.000145767	\$11,373,415,394.49	0.999936	35	66
Average	5.2986%	0.000145168	\$11,585,682,041.61		36	68



ECONOMIC COMMENTARY (cont.)

According to the Bureau of Labor Statistics, over 60% of new employment last year came from people not born in the United States. Last year, the immigration naturalization service approved more than 2 million initial applications for employment authorization, up from 1.2 million the year before. This influx of immigrants, pursuing their own versions of the American Dream, is helping increase job growth, suppress wage growth, and boost economic output.

The February CPI report showed that inflation is still gradually receding, although there were some areas of strength. Headline CPI rose 0.4% m/m and 3.2% year-over-year (y/y), above 3.1% y/y previously, while core inflation rose 0.4% m/m and 3.8% y/y, declining from 3.9% previously. In the details, owner's equivalent rent (OER) cooled from January's 0.6% but remained elevated at 0.4%. Before the pandemic, OER averaged ~0.25% monthly pace. Core goods prices surprised to the upside, with wide ranging increases. The "supercore" measure of inflation (Core Services Ex-Housing) eased in February at 0.5% m/m after surging 0.8% in January. Similarly, the Personal Consumption Expenditures Price Index (PCE) rose 0.3% m/m and 2.5% y/y, while the core PCE measure rose 0.3% m/m and 2.8% y/y.

As expected, at its March meeting, the FOMC voted to hold rates steady at 5.25%-5.50% for a fifth consecutive meeting. The prepared statement continued to highlight that inflation has eased but remains elevated. The changes to the Summary of Economy Projections (SEP) were mixed with year-end core PCE revised up to 2.6% from 2.4% and 2024 growth revised up to 2.1% from 1.4% in December. The median Fed 'dot' still showed three rate cuts for this year, and one fewer cut for next year for a total of three cuts in 2025 and 2026. During the press conference, Chairman Powell did not seem concerned about the hot inflation prints in January and February. While the FOMC seems intent on starting to cut rates this year to ensure a soft-landing scenario, Powell reaffirmed the Fed's stance that easing will not be appropriate until they have gained greater confidence that inflation is on track to decelerate toward 2%.

In the days leading up to the FOMC meeting, Treasury yields beyond six months inched higher as market expectations for rate cuts continued to erode on stronger than expected payrolls and CPI prints. U.S. two-year Treasury yields hovered near year-to-date highs of 4.75%. However, once the Fed reaffirmed its forecast for three rate cuts this year, yields inched back down, ending essentially where they started the month. The three-month Treasury bill yield modestly declined 1 basis point (bp) to 5.37%, while one-year Treasury yields rose 3 bps to 5.03%. Two-year Treasury yields ended the month unchanged at 4.62%.

Outlook

We have arguably been in a Goldilocks scenario for the economy over the past year, as CPI has gradually cooled from approximately 9% to 3% and economic growth has remained robust. We believe the Fed is likely to achieve a soft landing, where inflation declines, and GDP slows closer to its 2% trend. Furthermore, increased immigration is likely to keep a lid on wage growth and support economic growth. However, it is important to keep in mind that the road from 3% to 2% inflation may be bumpier than the disinflationary pathway we have experienced so far.

Investors have interpreted the rise in interest rates this year as a reflection of resilient economic activity, accompanied by expectations for robust profit growth. The market's confidence was reinforced after the March FOMC meeting, as the committee's updates to its SEP illustrated a rosier economic outlook. The message was that the Fed expects significantly more growth and a bit more inflation than it did in December. Despite the increase in core PCE projections, the committee's policy rate projections continued to signal three rate cuts this year but a downward revised three cuts in 2025 as the economy and labor market are expected to remain healthy. A once in a generation surge in labor supply is fueling higher growth as immigration for 2023 and 2024 is projected to reach levels not seen in quite some time. While labor demand has been robust, the surge in supply has helped rebalance the labor market. In the long run, the labor market and wages drive inflation. The rebalancing in the labor market gives confidence that we are still on the bumpy road to 2% inflation.



ECONOMIC COMMENTARY (cont.)

As we ended the first quarter, the market's estimates for the federal funds rate were in line with the Fed's, with the first rate cut expected in June. However, since then, the market has become more skeptical about the pace of Fed easing as US job openings and factor goods orders have been better than expected. There are three more job reports and inflation releases before the June FOMC meeting. While it is likely that we see two to three rate cuts in 2024, starting as early as this summer, the Fed may be biased to keep interest rates high for longer, depending on the data. Once the Fed does begin easing policy, rate cuts are likely to be slow and steady.

This information is an excerpt from an economic report dated March 2024 provided to TexSTAR by JP Morgan Asset Management, Inc., the investment manager of the TexSTAR pool.

TEXSTAR BOARD MEMBERS

Monte Mercer	North Central TX Council of Government	Governing Board President
David Pate	Richardson ISD	Governing Board Vice President
David Medanich	Hilltop Securities	Governing Board Secretary
Andrew Linton	J.P. Morgan Asset Management	Governing Board Asst. Sec./Treas
Brett Starr	City of Irving	Advisory Board
Sandra Newby	Tarrant Regional Water Dist/Non-Participant	Advisory Board
Ron Whitehead	Qualified Non-Participant	Advisory Board

The material provided to TexSTAR from J.P. Morgan Asset Management, Inc., the investment manager of the TexSTAR pool, is for informational and educational purposes only, as of the date of writing and may change at any time based on market or other conditions and may not come to pass. While we believe the information presented is reliable, we cannot guarantee its accuracy. HilltopSecurities is a wholly owned subsidiary of Hilltop Holdings, Inc. (NYSE: HTH) located at 717 N. Hardwood Street, Suite 3400, Dallas, TX 75201, (214) 859-1800. Member NYSE/FINRA/SIPC. Past performance is no guarantee of future results. Investment Management Services are offered through J.P. Morgan Asset Management Inc. and/or its affiliates. Marketing and Enrollment duties are offered through HilltopSecurities and/or its affiliates. HilltopSecurities and J.P. Morgan Asset Management Inc. are separate entities.



LOGIC
MONTHLY
NEWSLETTER
MARCH
2024



PERFORMANCE

As of March 31, 2024

Current Invested Balance	\$ 12,597,157,883.28
Weighted Average Maturity (1)	45 Days
Weighted Average Life (2)	68 Days
Net Asset Value	0.999780
Total Number of Participants	695
Management Fee on Invested Balance	0.0975%*
Interest Distributed	\$ 61,503,660.24
Management Fee Collected	\$ 1,082,081.31
% of Portfolio Invested Beyond 1 Year	0.00%
Standard & Poor's Current Rating	AAAm

Rates reflect historical information and are not an indication of future performance.

March Averages

Average Invested Balance	\$ 12,998,104,407.67
Average Monthly Yield, on a simple basis	5.4733%
Average Weighted Maturity (1)	44 Days
Average Weighted Life (2)	67 Days

Definition of Weighted Average Maturity (1) & (2)

(1) This weighted average maturity calculation uses the SEC Rule 2a-7 definition for stated maturity for any floating rate instrument held in the portfolio to determine the weighted average maturity for the pool. This Rule specifies that a variable rate instruction to be paid in 397 calendar days or less shall be deemed to have a maturity equal to the period remaining until the next readjustment of the interest rate.
(2) This weighted average maturity calculation uses the final maturity of any floating rate instruments held in the portfolio to calculate the weighted average maturity for the pool.

The maximum management fee authorized for the LOGIC Cash Reserve Fund is 12 basis points. This fee may be waived in full or in part in the discretion of the LOGIC co-administrators at any time as provided for in the LOGIC Information Statement.

NEW PARTICIPANTS

We would like to welcome the following entities who joined the LOGIC program in March:

* Cresson Crossroads Municipal Utility District No. 2 * Midland Independent School District * City of Navasota

HOLIDAY REMINDER

In observance of **Memorial Day, LOGIC will be closed on Monday, May 27, 2024.** All ACH transactions initiated on Friday, May 24th will settle on Tuesday, May 28th. Notification of any early transaction deadlines on the business day preceding this holiday will be sent by email to the primary contact on file for all LOGIC participants. Please plan accordingly for your liquidity needs.

ECONOMIC COMMENTARY

Market review

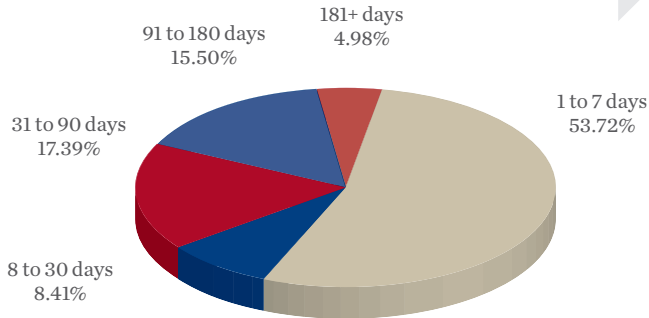
The market narrative changed considerably since the start of the year. First quarter data so far appeared to show strong growth, resilient labor markets and sticky inflation, which thwarted expectations for aggressive rate cuts and increased investor confidence in the Federal Reserve's (Fed's) ability to sustain the ongoing expansion. Yet, at its March meeting, the Federal Open Market Committee (FOMC) maintained its expectation for rate cuts this year. Data since the end of January were mixed, showing a continued, very gradual, cooling in economic growth and the labor market, but somewhat stronger than expected inflation. The Atlanta Fed's GDPNOW forecast for first quarter GDP growth slipped from 3.0% early in the quarter to 2.3% and most recently was upgraded to 2.8%. Consumer spending shifted into lower gear from last year but has remained solid thus far. Retail sales rose a healthy 0.6% month-over-month (m/m) in February after edging down 1.1% in January.

February's non-farm payrolls (NFP) revisions in the Employment report lent credence to the idea that the strong January figures were probably distorted by seasonal factors, both across wages and job gains. Nevertheless, the headline payroll growth numbers for February were still solid at 275K, beating consensus expectations, with the three-month moving average hovering around 260K. Altogether, the data suggests that labor market dynamics are continuing to rebalance, albeit at a slow pace. Elsewhere, employment in the household survey fell, contributing to a rise in the unemployment rate from 3.7% to 3.9%, its highest print in more than two years. Wage growth moderated to 0.1% m/m after jumping in January.

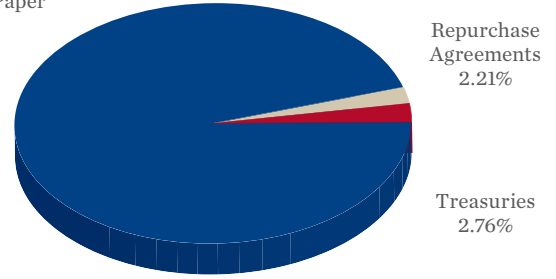
(continued page 4)

INFORMATION AT A GLANCE

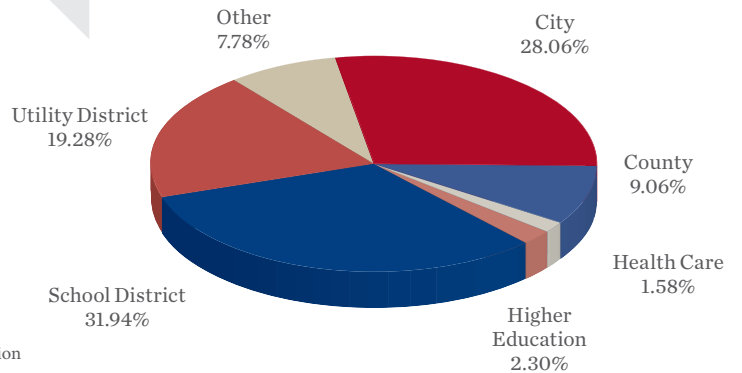
PORTFOLIO BY TYPE OF INVESTMENT AS OF MARCH 31, 2024



Commercial Paper
95.03%



PORTFOLIO BY MATURITY AS OF MARCH 31, 2024 (1)



DISTRIBUTION OF PARTICIPANTS BY TYPE AS OF MARCH 31, 2024

(1) Portfolio by Maturity is calculated using WAM (1) definition for stated maturity. See page 1 for definition

HISTORICAL PROGRAM INFORMATION

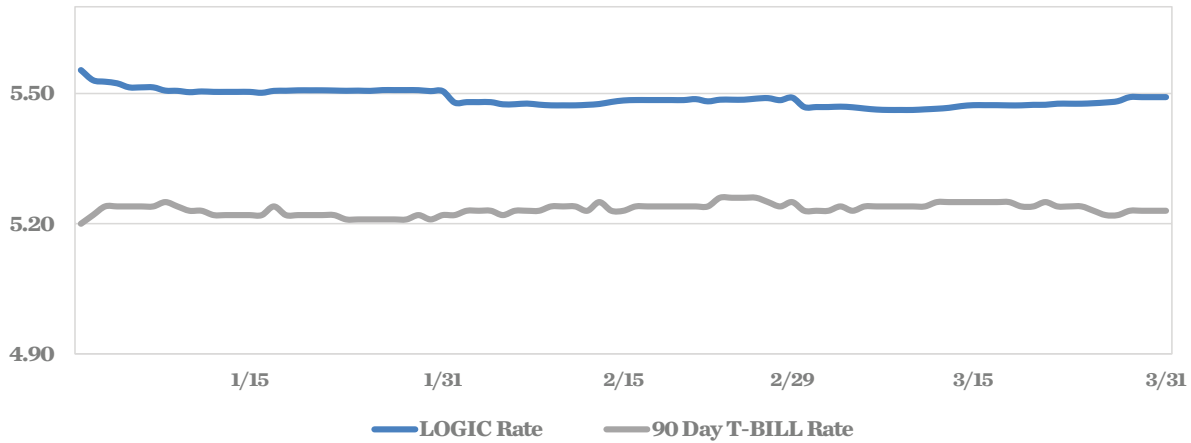
MONTH	AVERAGE RATE	BOOK VALUE	MARKET VALUE	NET ASSET VALUE	WAM (1)	WAL (2)	NUMBER OF PARTICIPANTS
Mar 24	5.4733%	\$12,597,157,883.28	\$12,594,398,914.29	0.999780	44	67	695
Feb 24	5.4812%	13,053,102,972.99	13,055,275,949.92	1.000166	45	67	692
Jan 24	5.5102%	12,694,647,319.98	12,699,839,697.62	1.000409	48	68	691
Dec 23	5.5411%	11,458,079,921.27	11,462,048,344.52	1.000254	53	77	688
Nov 23	5.5598%	10,489,760,450.40	10,492,958,358.89	1.000093	52	83	686
Oct 23	5.5432%	10,227,801,398.83	10,228,563,319.46	1.000074	44	82	684
Sep 23	5.5168%	10,186,401,619.84	10,186,001,313.15	0.999858	39	82	681
Aug 23	5.4721%	10,680,710,251.18	10,680,559,242.38	0.999985	32	74	679
Jul 23	5.2985%	10,153,858,654.20	10,152,546,069.51	0.999870	34	73	676
Jun 23	5.2554%	9,896,613,552.15	9,894,613,184.44	0.999660	40	74	675
May 23	5.1866%	10,091,234,151.85	10,088,568,744.46	0.999735	35	66	675
Apr 23	4.9970%	10,193,217,769.39	10,190,727,181.45	0.999755	31	57	674

PORTFOLIO ASSET SUMMARY AS OF MARCH 31, 2024

	BOOK VALUE	MARKET VALUE
Uninvested Balance	\$ 397.99	\$ 397.99
Accrual of Interest Income	13,033,497.93	13,033,497.93
Interest and Management Fees Payable	(61,456,421.75)	(61,456,421.75)
Payable for Investment Purchased	0.00	0.00
Repurchase Agreement	278,841,999.97	278,841,999.97
Commercial Paper	12,018,003,078.39	12,015,237,184.15
Government Securities	348,735,330.75	348,742,256.00
TOTAL	\$ 12,597,157,883.28	\$ 12,594,398,914.29

Market value of collateral supporting the Repurchase Agreements is at least 102% of the Book Value. The portfolio is managed by J.P. Morgan Chase & Co. and the assets are safekept in a separate custodial account at the Federal Reserve Bank in the name of LOGIC. The only source of payment to the Participants are the assets of LOGIC. There is no secondary source of payment for the pool such as insurance or guarantee. Should you require a copy of the portfolio, please contact LOGIC Participant Services.

LOGIC VERSUS 90-DAY TREASURY BILL



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DAILY SUMMARY FOR MARCH 2024

DATE	MNY MKT FUND EQUIV. [SEC Std.]	DAILY ALLOCATION FACTOR	INVESTED BALANCE	MARKET VALUE PER SHARE	WAM DAYS (1)	WAL DAYS (2)
3/1/2024	5.4688%	0.000149829	\$13,099,539,597.75	0.999969	43	65
3/2/2024	5.4688%	0.000149829	\$13,099,539,597.75	0.999969	43	65
3/3/2024	5.4688%	0.000149829	\$13,099,539,597.75	0.999969	43	65
3/4/2024	5.4697%	0.000149854	\$13,110,551,998.15	1.000172	42	64
3/5/2024	5.4683%	0.000149817	\$13,084,566,889.05	1.000167	44	66
3/6/2024	5.4654%	0.000149738	\$13,125,831,401.72	1.000160	43	65
3/7/2024	5.4630%	0.000149672	\$13,063,372,070.10	1.000154	44	67
3/8/2024	5.4621%	0.000149646	\$13,089,083,093.44	0.999945	43	66
3/9/2024	5.4621%	0.000149646	\$13,089,083,093.44	0.999945	43	66
3/10/2024	5.4621%	0.000149646	\$13,089,083,093.44	0.999945	43	66
3/11/2024	5.4635%	0.000149686	\$13,100,151,719.79	1.000151	42	66
3/12/2024	5.4649%	0.000149722	\$13,089,166,239.23	1.000134	43	66
3/13/2024	5.4670%	0.000149781	\$13,091,560,971.04	1.000126	44	66
3/14/2024	5.4709%	0.000149888	\$13,098,623,058.86	1.000114	46	69
3/15/2024	5.4731%	0.000149948	\$13,062,065,757.84	0.999903	45	67
3/16/2024	5.4731%	0.000149948	\$13,062,065,757.84	0.999903	45	67
3/17/2024	5.4731%	0.000149948	\$13,062,065,757.84	0.999903	45	67
3/18/2024	5.4726%	0.000149935	\$13,065,042,437.14	1.000098	44	66
3/19/2024	5.4727%	0.000149937	\$13,094,613,669.39	1.000100	45	67
3/20/2024	5.4739%	0.000149970	\$13,089,707,581.35	1.000092	45	67
3/21/2024	5.4740%	0.000149973	\$13,063,477,751.84	1.000109	45	67
3/22/2024	5.4765%	0.000150040	\$12,976,857,646.90	0.999898	45	67
3/23/2024	5.4765%	0.000150040	\$12,976,857,646.90	0.999898	45	67
3/24/2024	5.4765%	0.000150040	\$12,976,857,646.90	0.999898	45	67
3/25/2024	5.4776%	0.000150071	\$12,989,771,325.32	1.000094	46	68
3/26/2024	5.4793%	0.000150118	\$12,928,106,146.89	1.000088	46	68
3/27/2024	5.4822%	0.000150198	\$12,875,423,557.05	1.000088	46	68
3/28/2024	5.4916%	0.000150456	\$12,597,157,883.28	0.999780	45	68
3/29/2024	5.4916%	0.000150456	\$12,597,157,883.28	0.999780	45	68
3/30/2024	5.4916%	0.000150456	\$12,597,157,883.28	0.999780	45	68
3/31/2024	5.4916%	0.000150456	\$12,597,157,883.28	0.999780	45	68
Average	5.4733%	0.000149954	\$11,998,104,407.67		44	67



ECONOMIC COMMENTARY (cont.)

How has the economy created so many jobs while the unemployment rate has ticked up? While the two measures are derived from two different surveys, the answer appears to be immigration. The recent surge in immigration may have potentially addressed the labor shortage caused by early retirements throughout the pandemic. According to the Bureau of Labor Statistics, over 60% of new employment last year came from people not born in the United States. Last year, the immigration naturalization service approved more than 2 million initial applications for employment authorization, up from 1.2 million the year before. This influx of immigrants, pursuing their own versions of the American Dream, is helping increase job growth, suppress wage growth, and boost economic output.

The February CPI report showed that inflation is still gradually receding, although there were some areas of strength. Headline CPI rose 0.4% m/m and 3.2% year-over-year (y/y), above 3.1% y/y previously, while core inflation rose 0.4% m/m and 3.8% y/y, declining from 3.9% previously. In the details, owner's equivalent rent (OER) cooled from January's 0.6% but remained elevated at 0.4%. Before the pandemic, OER averaged -0.25% monthly pace. Core goods prices surprised to the upside, with wide ranging increases. The "supercore" measure of inflation (Core Services Ex-Housing) eased in February at 0.5% m/m after surging 0.8% in January. Similarly, the Personal Consumption Expenditures Price Index (PCE) rose 0.3% m/m and 2.5% y/y, while the core PCE measure rose 0.3% m/m and 2.8% y/y.

As expected, at its March meeting, the FOMC voted to hold rates steady at 5.25%-5.50% for a fifth consecutive meeting. The prepared statement continued to highlight that inflation has eased but remains elevated. The changes to the Summary of Economy Projections (SEP) were mixed with year-end core PCE revised up to 2.6% from 2.4% and 2024 growth revised up to 2.1% from 1.4% in December. The median Fed 'dot' still showed three rate cuts for this year, and one fewer cut for next year for a total of three cuts in 2025 and 2026. During the press conference, Chairman Powell did not seem concerned about the hot inflation prints in January and February. While the FOMC seems intent on starting to cut rates this year to ensure a soft-landing scenario, Powell reaffirmed the Fed's stance that easing will not be appropriate until they have gained greater confidence that inflation is on track to decelerate toward 2%.

In the days leading up to the FOMC meeting, Treasury yields beyond six months inched higher as market expectations for rate cuts continued to erode on stronger than expected payrolls and CPI prints. U.S. two-year Treasury yields hovered near year-to-date highs of 4.75%. However, once the Fed reaffirmed its forecast for three rate cuts this year, yields inched back down, ending essentially where they started the month. The three-month Treasury bill yield modestly declined 1 basis point (bp) to 5.37%, while one-year Treasury yields rose 3 bps to 5.03%. Two-year Treasury yields ended the month unchanged at 4.62%.

Outlook

We have arguably been in a Goldilocks scenario for the economy over the past year, as CPI has gradually cooled from approximately 9% to 3% and economic growth has remained robust. We believe the Fed is likely to achieve a soft landing, where inflation declines, and GDP slows closer to its 2% trend. Furthermore, increased immigration is likely to keep a lid on wage growth and support economic growth. However, it is important to keep in mind that the road from 3% to 2% inflation may be bumpier than the disinflationary pathway we have experienced so far.

Investors have interpreted the rise in interest rates this year as a reflection of resilient economic activity, accompanied by expectations for robust profit growth. The market's confidence was reinforced after the March FOMC meeting, as the committee's updates to its SEP illustrated a rosier economic outlook. The message was that the Fed expects significantly more growth and a bit more inflation than it did in December. Despite the increase in core PCE projections, the committee's policy rate projections continued to signal three rate cuts this year but a downward revised three cuts in 2025 as the economy and labor market are expected to remain healthy. A once in a generation surge in labor supply is fueling higher growth as immigration for 2023 and 2024 is projected to reach levels not seen in quite some time. While labor demand has been robust, the surge in supply has helped rebalance the labor market. In the long run, the labor market and wages drive inflation. The rebalancing in the labor market gives confidence that we are still on the bumpy road to 2% inflation.

(continued page 5)



ECONOMIC COMMENTARY (cont.)

As we ended the first quarter, the market’s estimates for the federal funds rate were in line with the Fed’s, with the first rate cut expected in June. However, since then, the market has become more skeptical about the pace of Fed easing as US job openings and factor goods orders have been better than expected. There are three more job reports and inflation releases before the June FOMC meeting. While it is likely that we see two to three rate cuts in 2024, starting as early as this summer, the Fed may be biased to keep interest rates high for longer, depending on the data. Once the Fed does begin easing policy, rate cuts are likely to be slow and steady.

This information is an excerpt from an economic report dated March 2024 provided to LOGIC by JP Morgan Asset Management, Inc., the investment manager of the LOGIC pool.

LOGIC BOARD MEMBERS

Sandy Newby	Tarrant Regional Water District	Governing Board President
Jeanne Chipperfield	North Texas Municipal Water District	Governing Board Treasurer
Darla Moss	Arlington ISD	Governing Board Secretary
Rene Barajas	Northside ISD	Advisory Board Member
Monte Mercer	Qualified Non-Participant	Advisory Board Member
Cindy Demers	Qualified Non-Participant	Advisory Board Member

The material provided to LOGIC from J.P. Morgan Asset Management, Inc., the investment manager of the LOGIC pool, is for informational and educational purposes only, as of the date of writing and may change at any time based on market or other conditions and may not come to pass. While we believe the information presented is reliable, we cannot guarantee its accuracy. HilltopSecurities is a wholly owned subsidiary of Hilltop Holdings, Inc. (NYSE: HTH) located at 717 N. Hardwood Street, Suite 3400, Dallas, TX 75201, (214) 859-1800. Member NYSE/FINRA/SIPC. Past performance is no guarantee of future results. Investment Management Services are offered through J.P. Morgan Asset Management Inc. and/or its affiliates. Marketing and Enrollment duties are offered through HilltopSecurities and/or its affiliates. HilltopSecurities and J.P. Morgan Asset Management Inc. are separate entities.



CITY OF LAVON Agenda Brief

MEETING: May 7, 2024

ITEM: 6 - C

Item:

CONSENT AGENDA

Approve the final plat of the 78 East Commercial Addition, Ph 2 Block A, Lot 5 and Lot 1R consisting of two commercial lots on approximately 2.983 acres of land out of the William H. Moore Survey, Abstract No. 638, situated adjacent to and northwest of the intersection of SH 78 and Burnett Drive, Lavon, Collin County, TX (CCAD Property ID 2614649 and 2612610), subject to the city engineer's final approval of the civil plans.

Application Information

Owner(s): 78 Commercial West, LP

Applicant: Kiew Kam, Triangle Engineering LLC

Location: Adjacent to and northwest of the intersection of SH 78 and Burnett Drive

Description: Approximately 2.983 acres of land out of the William H. Moore Survey, Abstract No. 638, City of Lavon, Collin County, TX, (CCAD Property ID 2614649 and 2612610)

Current Zoning: Planned Development

Request: Final Plat

Request Details

The applicant is seeking approval of the final plat of a commercially zoned area consisting of two non-residential lots northwest of the intersection of SH 78 and Burnett Drive. The site will be developed in accordance with Ordinance No. **2004-09-05** that established the Grand Heritage Planned Development (PD), as amended.

The applicant has expressed their intention to develop a day care facility on Lot 5.

Code Excerpts:

**TEXAS LOCAL GOVERNMENT CODE
§ 212.004. PLAT REQUIRED**

Sec. 212.004. PLAT REQUIRED. (a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared. A division of a tract under this subsection includes a division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or in a contract for a deed, by using a contract of sale or other executory contract to convey, or by using any other method. A division of land under this subsection does not include a division of land into parts greater than five acres, where each part has access and no public improvement is being dedicated.

Code Excerpts:

**CITY OF LAVON – ARTICLE 9.02 SUBDIVISION ORDINANCE
SECTION 9.02.004 (d) FINAL PLAT**

After approval of the preliminary plat by the planning and zoning commission and City Council, a final plat, prepared by a registered public surveyor bearing his or her seal and the construction plans prepared by a registered professional civil engineer bearing his or her seal, shall be submitted to the planning and zoning commission.

The preliminary plat of the 78 Commercial East Addition was approved on April 2, 2024.

The proposed development takes access from SH 78 and Burnett Drive. The development provides for the extension of public infrastructure systems for water and sanitary sewer.

Planning and Zoning Commission Report:

MOTION: RECOMMEND APPROVAL OF THE FINAL PLAT OF THE 78 EAST COMMERCIAL ADDITION, PH 2 BLOCK A, LOT 5 AND LOT 1R CONSISTING OF TWO COMMERCIAL LOTS ON APPROXIMATELY 2.983 ACRES OF LAND OUT OF THE WILLIAM H. MOORE SURVEY, ABSTRACT NO. 638, SITUATED ADJACENT TO AND NORTHWEST OF THE INTERSECTION OF SH 78 AND BURNETT DRIVE, LAVON, COLLIN COUNTY, TX SUBJECT TO CITY ENGINEER FINAL REVIEW.
MOTION MADE: NABORS
SECONDED: COX
APPROVED: UNANIMOUS

Staff Notes:

The proposed final plat was reviewed by the staff development review committee, planner, and the City Engineer. Approval is recommended subject to the city engineer’s final approval of the civil plans.

- Attachments:**
1. Application and final plat
 2. Location Exhibits
 3. Engineering and planning correspondence



CITY OF LAVON

P.O. Box 340 - 120 School Rd. - Lavon, TX 75166
Office 972-843-4220 - - Inspection 972-853-0855
Email: l.mcclendon@lavontx.gov

PLAT APPLICATION

Please type or print clearly. Incomplete applications will not be accepted.

Authorization of Representation

Date: 04-03-2024

To the City of Lavon
Collin County, Texas

This letter will serve as notice that I/we, 78 COMMERCIAL EAST, LP, am/are the owner (s) of record of the property described in the attached survey documentation, submitted with this form, and do hereby authorize TRIANGLE ENGINEERING LLC to represent me (us) and my (our) interests in the property described in the attached exhibits (s) for the expressed purpose of this request.

Signature (Owner)

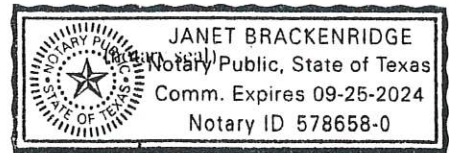
Signature (Owner)

Signature (Owner)

The State of Texas
County of Dallas

Before me, the undersigned authority, appeared Carter Hunt,
on this the 3rd day of April, 2024.

Janet Brackenridge



Notary Public in and for Dallas County, Texas



CITY OF LAVON

P.O. Box 340 – 120 School Rd. – Lavon, TX 75166
Office 972-843-4220 – Inspection 972-853-0855
Email: l.mcclendon@lavontx.gov

PLAT APPLICATION

Please type or print clearly. Incomplete applications will not be accepted.

Declaration of Ownership

Date: 04-03-2024

To the City of Lavon
Collin County, Texas

This letter will serve as notice that I/we, 78 COMMERCIAL EAST, LP, am/are the owner (s) of record of the property described in the attached survey documentation, submitted with this form, for the purpose of any future proposed request (s) relating to this property.

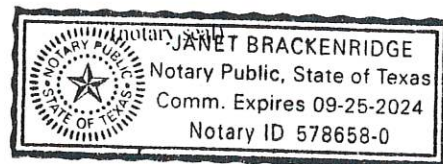
Signature (Owner)

Signature (Owner)

Signature (Owner)

The State of Texas
County of Dallas

Before me, the undersigned authority, appeared Carter Hunt,
on this the 3rd day of April, 20 24.



Janet Brackenridge

Notary Public in and for Dallas County, Texas

WHEREAS 78 Commercial East, LP are the owners of a tract or parcel of land situated in the W.H. Moore Survey, Abstract No. 638, in the City of Lavon, Collin County, Texas, and being a portion of a tract of land described in Correction Warranty Deed to 78 Commercial East, LP, a Texas limited partnership, recorded in Document Number 2008112001321980, Official Public Records, Collin County, Texas (O.P.R.C.C.T.), also being all of Commercial Tract No. 1, Block J of Grand Heritage Club, an addition to the City of Lavon, as recorded in Volume 2006, Page 211, Plat Records, Collin County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at an aluminum monument found for the southernmost corner of a corner clip at the north right-of-way line of State Highway 78 and the west right-of-way of Burnett Drive;

THENCE South 74 degrees 13 minutes 54 seconds West, with the north right-of-way line of State Highway 78, a distance of 106.78 feet to a 1/2 inch rebar found for corner;

THENCE South 80 degrees 29 minutes 23 seconds West, with the north right-of-way line of said State Highway 78, a distance of 338.22 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE North 09 degrees 24 minutes 56 seconds West, departing the north right-of-way line of said State Highway 78, over, across and upon said 78 Commercial East, LP tract, a distance of 298.98 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner on the south right-of-way line of 15 foot alley right-of-way;

THENCE North 80 degrees 29 minutes 23 seconds East, with the south right-of-way line of said 15 foot alley, continuing with the south line of Lot 23, 24 and a portion of Lot 25 of Block J of said Grand Heritage Club;

THENCE North 74 degrees 13 minutes 54 seconds East, with the south line of said Lots 25 and 26, a distance of 96.46 feet to a 5/8 inch rebar capped "LLL" found for the southeast corner of said Lot 26, said corner lying on the west right-of-way line of Burnett Drive (Variable Width right-of-way);

THENCE South 01 degrees 54 minutes 05 seconds West, with the west right-of-way line of said Burnett Drive, a distance of 5.50 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner and being the beginning of a curve to the left with a radius of 227.50 feet, a central angle of 31 degrees 55 minutes 21 seconds and a chord bearing and distance of South 14 degrees 00 minutes 37 seconds East, a distance of 125.12 feet;

THENCE with said curve to the left, with the west right-of-way line of said Burnett Drive, an arc length of 126.75 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner and being the beginning of a curve to the right with a radius of 195.00 feet, a central angle of 14 degrees 59 minutes 16 seconds and a chord bearing and distance of South 22 degrees 28 minutes 40 seconds East, a distance of 50.86 feet;

THENCE with said curve to the right, with the west right-of-way line of said Burnett Drive, an arc length of 51.01 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE South 14 degrees 59 minutes 02 seconds East, with the west right-of-way line of said Burnett Drive, a distance of 107.53 feet to a 5/8 inch rebar capped "Carter & Burgess" found bears North 19 degrees 39 minutes 34 seconds West, a distance of 0.37 feet;

THENCE South 29 degrees 37 minutes 25 seconds West, with said corner clip, a distance of 14.34 feet to THE POINT OF BEGINNING and containing 133,035 square feet or 2,983 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT 78 Commercial East, LP do hereby adopt this Final Plat, designating herein described property as 78 Commercial East, an addition to the City of Lavon, Collin County, Texas, and does hereby dedicate in fee simple to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed in any Easements. Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Lavon's use thereof. The City of Lavon and public utility entities shall have the right to remove and keep removed improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Lavon and public utility entities shall at all times have full right for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time procuring the permission from anyone. This Final Plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Lavon, Texas.

Witness, my hand at _____, This _____ day of _____, 20____.

Signature -- 78 Commercial East, LP

Printed Name

Title / Date

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL:
Recommended for Approval:

Chairman, Planning and Zoning Commission _____ Date _____

Approved for Construction:

Mayor, City of Lavon _____ Date _____

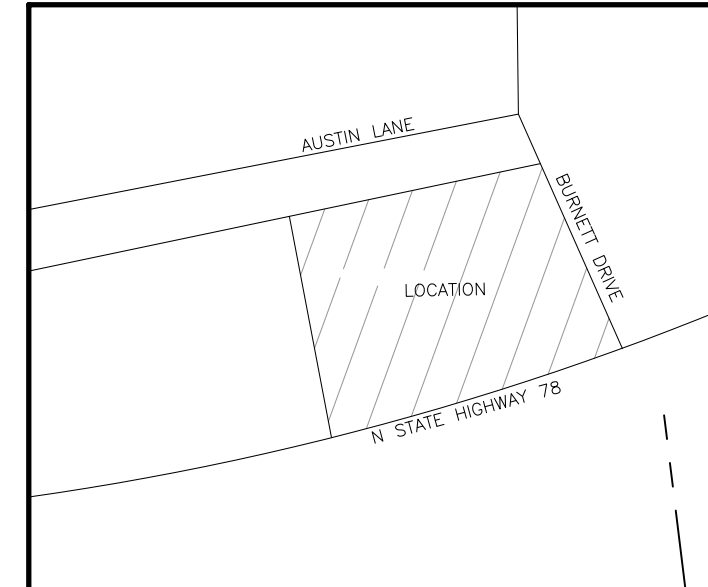
Accepted:

Mayor, City of Lavon _____ Date _____

The undersigned, the City Secretary of the City of Lavon, Texas, hereby certifies that the foregoing Final Plat of 78 Commercial East, a subdivision or addition to the City of Lavon was submitted to the City Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat and said council further authorized the mayor to note the acceptance thereof by signing his or her name as hereinabove subscribed.

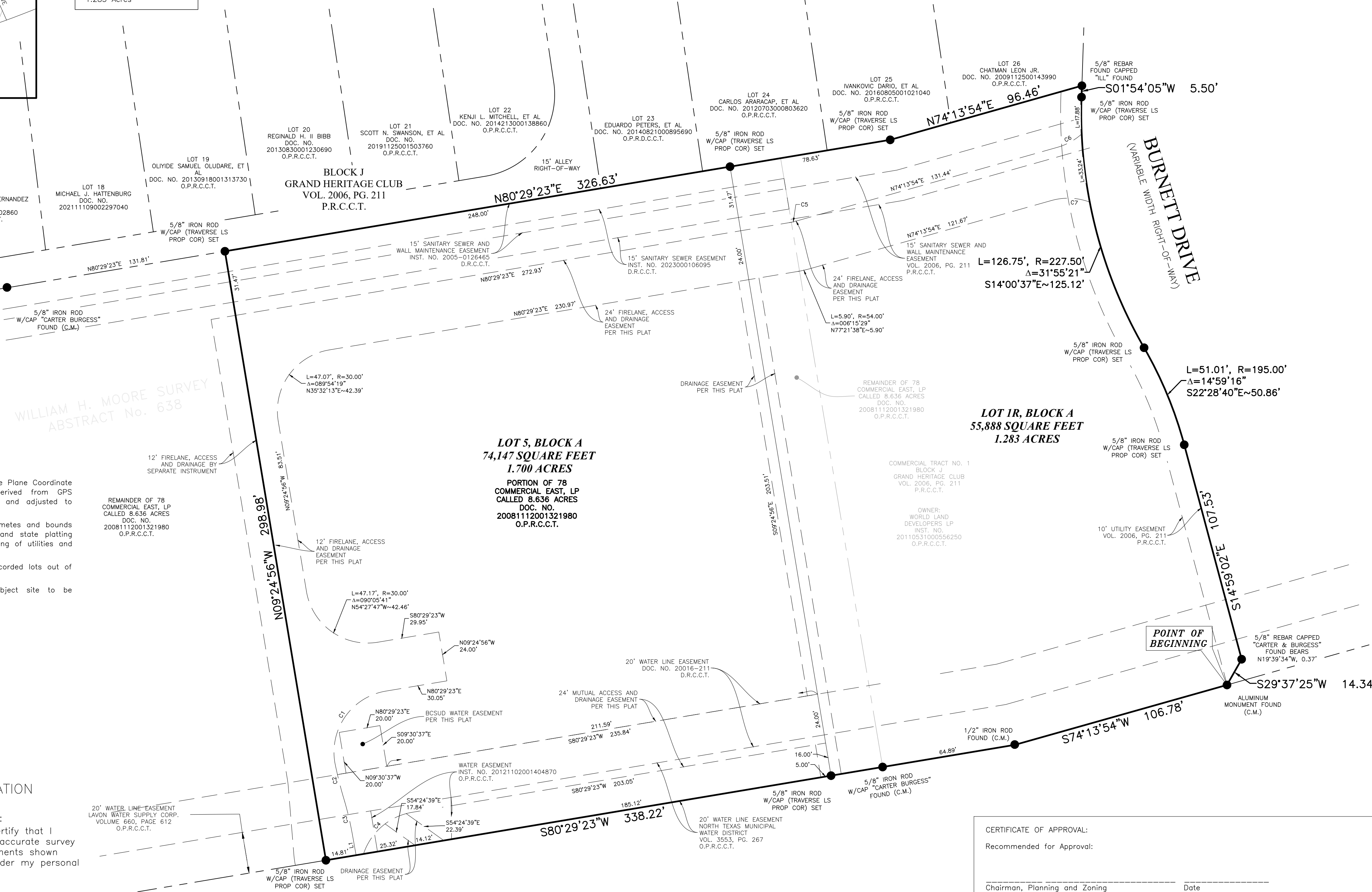
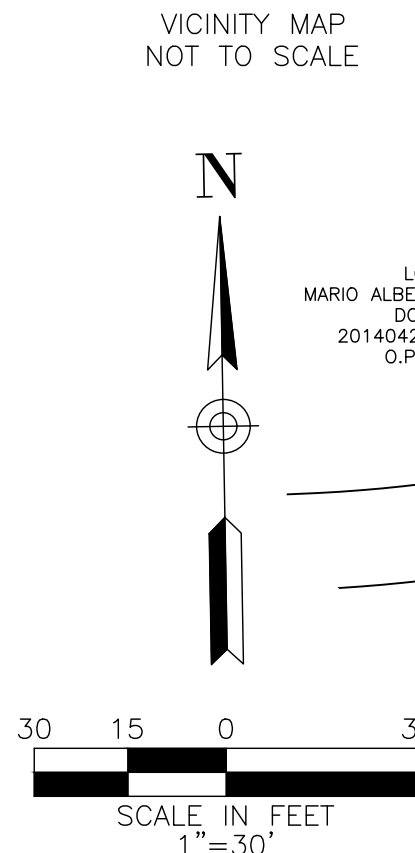
WITNESS my hand this _____ day of _____, 20____.

City Secretary, City of Lavon, Texas



Lot Table:

Lot 5:	Proposed Use: Commercial	74,147 Square Feet	1.700 Acres
Lot 1R:	Proposed Use: Commercial	55,888 Square Feet	1.283 Acres



- GENERAL NOTES**
- The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Altaera RTK Network and adjusted to surface using a scale factor of 1.00015271.
 - Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
 - The purpose of this plat is to create two recorded lots out of a tract of land and a previously platted lot.
 - The offsite drive from Burnett to the subject site to be developed during Lot 5 development.

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS: That I, David F. McCullah, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

David F. McCullah
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4023

DATE: _____
STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 20____.

Notary Public in and for the State of Texas

FLOOD NOTES

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48085C0440J, dated June 02, 2009. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).

Curve Data Table

Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	47.07'	30.00'	089°54'19"	N35°32'13"E	42.39'
C2	19.53'	194.51'	005°45'09"	N14°09'37"W	19.52'
C3	16.09'	150.00'	008°08'45"	N13°12'42"W	16.08'
C4	32.56'	30.00'	062°10'55"	S49°23'55"W	30.98'
C5	3.28'	30.00'	006°15'29"	N77°21'38"E	3.28'
C6	13.59'	30.00'	025°57'29"	N61°15'09"E	13.48'
C7	18.93'	30.00'	036°08'47"	S87°41'43"E	18.61'

Line Data Table

Line #	Distance	Bearing
L1	10.55'	N10°08'19"W

CERTIFICATE OF APPROVAL:
Bear Creek Special Utility District Approval Certificate

Recommended for Approval:

Bear Creek SUD, Lavon, Texas _____ Date _____

Signature _____

Name / Title _____

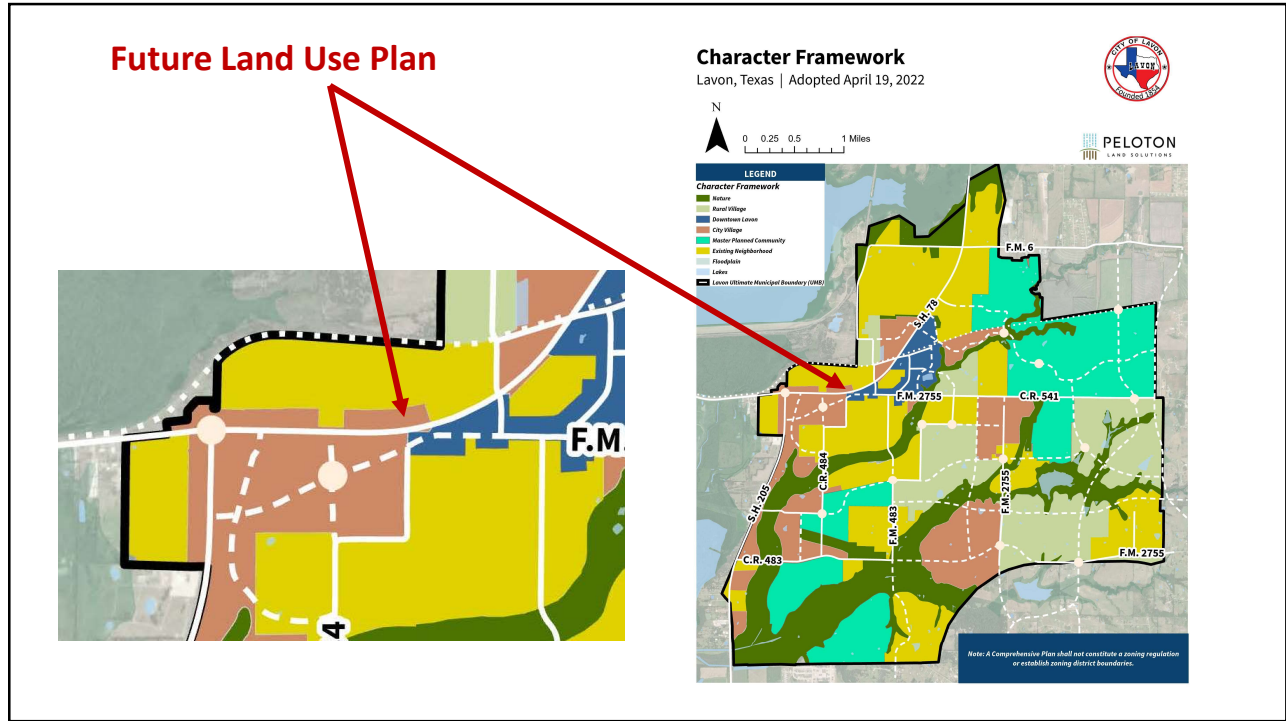
OWNER/DEVELOPER
78 Commercial East, LP
1601 Elm Street
Dallas, Texas 75201

ENGINEER
Triangle Engineering
1782 W McDermott Drive
Allen, Texas 75013

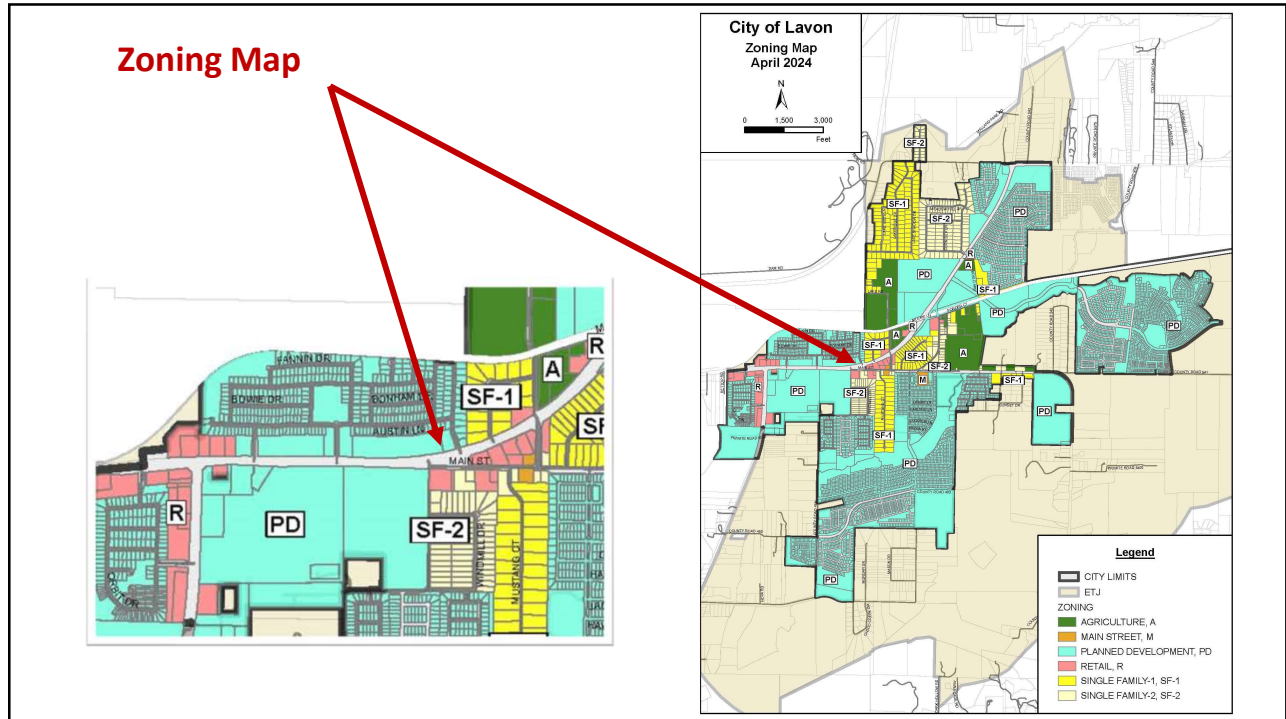
14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting
Date: March 28, 2024 Project No.: TR-141-23

FINAL PLAT
LOT 1R AND 5, BLOCK A
78 COMMERCIAL EAST
BEING 2.983 ACRES
OUT OF THE WILLIAM H. MOORE SURVEY,
ABSTRACT NO. 638
CITY OF LAVON, COLLIN COUNTY, TEXAS
MARCH 2024



15



16

**Location
Exhibit
78 East
Commercial
Addition**



April 22, 2024

Kim Dobbs
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare (Lot 1R & 5)
Final Plat Review
LJA Job No. NTP-40467
Email Submittal: April 22, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. Provided below are comments relating to planning and design. Please do not hesitate to let us know if you have any questions.

PLANNING + DESIGN COMMENTS

1. The property cannot be platted without an owner's written consent. Since it appears there are two property owners for the subject property, revise the plat to include both owners on the plat application, in the plat title block, and in the owner's dedication.
2. Revise the plat to label Lot 1R and the title block as "Commercial Tract No. 1R" as shown on the Preliminary Plat.
3. Revise the plat to dimension the width of each side and the total width of the drainage easement located on the eastern side of Lot 5.
4. The driveway approach onto Burnett Drive does not appear to have 30' turning radii. However, the curve table calls out the radii of both curves (C6 and C7) as 30'. Confirm that 30' turning radii are provided for this approach or revise the plat accordingly.
5. Update the revision date shown in the Final Plat title block.

Comments prepared and compiled by:



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking +
Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

Quality check by:



Abra R. Nusser, AICP
Director of Placemaking + Resilience
at LJA
Email: anusser@lja.com
Phone: 972.339.8186
On behalf of the City of Lavon, TX

Kim Dobbs

From: kdobbs@lavontx.gov
Subject: FW: Final Plat - 78 Commercial East Project

From: Mark Hill <mdhill@fmi-dallas.com>
Sent: Monday, April 22, 2024 4:15 PM
To: Kim Dobbs <kdobbs@lavontx.gov>; Grayson CeBallos <grayson@traverselandsurveying.com>; Kiew Kam <kkam@triangle-engr.com>
Cc: Tiffany McLeod <tmcleod@lja.com>; Abra Nusser <anusser@lja.com>; Matthew Johnson <mjohnson@petrohunt.com>; Birat Dhakal <Birat@triangle-engr.com>; Radhe Adhikari <Radhe@triangle-engr.com>; Ravi Maddi <ravindra.maddi@gmail.com>; Mani Gudavalli <mani202@gmail.com>; LeAnn McClendon <lmccclendon@lavontx.gov>
Subject: RE: Final Plat - 78 Commercial East Project

Grayson, a few comments in addition to planners' comments:

1. The first paragraph of the written description should be modified to reflect both properties and respective owners.
2. There is a missing distance in the written description for the line along the alley.
3. The surveyor should consider using "survey hooks" to show lot 1R to include the area west of deed line.
4. The existing 15' wall easement on the north side of original lot 1 does not appear to be in the correct location. In addition, there is an existing 15' utility easement long and adjacent to the 15' wall easement.

Mark D. Hill, P.E.
Freeman-Millican, Inc.
Tx. Eng. Firm 2827
9330 Lyndon B Johnson Fwy, Suite 1225
Dallas, Texas 75243
(214) 503-0555 ext. 115
mdhill@fmi-dallas.com

From: Kim Dobbs <kdobbs@lavontx.gov>
Sent: Monday, April 22, 2024 3:16 PM
To: Grayson CeBallos <grayson@traverselandsurveying.com>; Kiew Kam <kkam@triangle-engr.com>
Cc: Tiffany McLeod <tmcleod@lja.com>; Abra Nusser <anusser@lja.com>; Mark Hill <mdhill@fmi-dallas.com>; Matthew Johnson <mjohnson@petrohunt.com>; Birat Dhakal <Birat@triangle-engr.com>; Radhe Adhikari <Radhe@triangle-engr.com>; Ravi Maddi <ravindra.maddi@gmail.com>; Mani Gudavalli <mani202@gmail.com>; LeAnn McClendon <lmccclendon@lavontx.gov>
Subject: RE: Final Plat - 78 Commercial East Project

Grayson,
The Planner has completed their review and in the interest of time, the attached comments are being provided to you prior to and apart from the Engineering review comments.
The application and plat revisions with a comment response letter should be uploaded into MyGov and can be provided via email. A plat application form is attached and an additional plat application fee of \$51.32 is due.

City Engineer review comments will follow.

Thank you,

Kim

Kim Dobbs

City Manager

City of Lavon

972-843-4220

From: Grayson CeBalloos <grayson@traverselandsurveying.com>

Sent: Monday, April 22, 2024 1:09 PM

To: Kim Dobbs <kdobbs@lavontx.gov>; Kiew Kam <kkam@triangle-engr.com>

Cc: Tiffany McLeod <tmcleod@lja.com>; Abra Nusser <anusser@lja.com>; mdhill@fmi-dallas.com; Matthew Johnson <mjohnson@petrohunt.com>; Birat Dhakal <Birat@triangle-engr.com>; Radhe Adhikari <Radhe@triangle-engr.com>; Ravi Maddi <ravindra.maddi@gmail.com>; Mani Gudavalli <mani202@gmail.com>

Subject: RE: Final Plat - 78 Commercial East Project

Kim,

Please find attached the update:

I have added Phase 2 above the proposed Lot 1R – let me know if you may be looking for something different here and I'll get it revised and right back over to you!

If there are any other questions, comments or concerns regarding the approval of this plat just let me know and we'll make it happen before tomorrow.

Do appreciate the help.

Thanks,

Grayson CeBalloos, SIT

General Manager / Managing Partner



Surveying | Construction Staking | Platting

14200 Midway Road, Suite 130, Dallas, TX 75244

O: 469.784.9321 C: 940-395-6999 | Firm No. 10194631

E: grayson@traverselandsurveying.com | W: TraverseLandSurveying.com

From: Kim Dobbs <kdobbs@lavontx.gov>

Sent: Friday, April 19, 2024 6:21 PM

To: Grayson CeBalloos <grayson@traverselandsurveying.com>; Kiew Kam <kkam@triangle-engr.com>

Cc: Tiffany McLeod <tmcleod@lja.com>; Abra Nusser <anusser@lja.com>; mdhill@fmi-dallas.com; Matthew Johnson <mjohnson@petrohunt.com>; Birat Dhakal <Birat@triangle-engr.com>; Radhe Adhikari <Radhe@triangle-engr.com>; Ravi Maddi <ravindra.maddi@gmail.com>; Mani Gudavalli <mani202@gmail.com>

Subject: RE: Final Plat - 78 Commercial East Project

Kim Dobbs

From: kdobbs@lavontx.gov
Subject: FW: Final Plat - 78 Commercial East Project

From: Kiew Kam <kkam@triangle-engr.com>
Sent: Friday, April 19, 2024 4:08 PM
To: Kim Dobbs <kdobbs@lavontx.gov>
Cc: Tiffany McLeod <tmcleod@lja.com>; Abra Nusser <anusser@lja.com>; mdhill@fmi-dallas.com; Matthew Johnson <mjohnson@petrohunt.com>; Grayson CeBallos <grayson@traverselandsurveying.com>; Birat Dhakal <Birat@triangle-engr.com>; Radhe Adhikari <Radhe@triangle-engr.com>; Ravi Maddi <ravindra.maddi@gmail.com>; Mani Gudavalli <mani202@gmail.com>
Subject: RE: Final Plat - 78 Commercial East Project

Hi Kim: I spoke with both surveyor and Matthew @ Petro-Hunt. We will send updated final plat with incorporation of Commercial Tract Lot 1R Monday morning.

Thank you

Sincerely,

Kiew Kam P.E.



Planning | Civil Engineering | Construction Management

O: 1782 W. McDermott Drive | Allen, TX 75013

T: 469.213.2268 | F: 469.213.7145 | E: kkam@triangle-engr.com | W: www.triangle-engr.com

This communication may contain confidential, proprietary or privileged information and is intended solely for the addressee(s). Unauthorized use, disclosure, dissemination or copying of this communication or any part thereof is strictly prohibited and may be unlawful. If you have received this communication in error, please notify the sender and destroy this communication and all copies thereof, including all attachments.



Do You Need to Print? Save Paper, Save Trees, Save the Planet.

From: Kim Dobbs <kdobbs@lavontx.gov>
Sent: Friday, April 19, 2024 4:00 PM
To: Kiew Kam <kkam@triangle-engr.com>
Cc: Tiffany McLeod <tmcleod@lja.com>; Abra Nusser <anusser@lja.com>; mdhill@fmi-dallas.com
Subject: Final Plat - 78 Commercial East Project

As we discussed this afternoon, please see attached .

The City Engineer is preparing his review of the response as well.
Thank you,

Kim Dobbs
City Manager
City of Lavon
972-843-4220

April 16, 2024

Kim Dobbs
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare (Lot 5)
Final Plat Review
LJA Job No. NTP-40467
MyGov Submittal: April 11, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. Provided below are comments relating to planning and design. Please do not hesitate to let us know if you have any questions.

PLANNING + DESIGN COMMENTS

- 1. Repeat comment:** There is a deed line shown on the approved Preliminary Plat, running north-south, adjacent to the subject property on its east side. Please clarify if the portion of land labeled "Remainder of 78 Commercial East, LP" is included in the platted Commercial Tract No. 1. The approved Preliminary Plat showed this portion of land as included with proposed Commercial Tract No. 1R. This portion of land cannot remain unplatted. Please clarify or correct the proposed plat accordingly. **Either include this portion of land on this plat or Commercial Tract No. 1R's plat must be filed prior to approval of this plat.**
- 2.** Upon resubmittal, please provide a comment response letter indicating acknowledgement or clarification of how each comment has been addressed.

Comments prepared and compiled by:



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

Quality check by:



Abra R. Nusser, AICP
Director of Placemaking + Resilience at LJA
Email: anusser@lja.com
Phone: 972.339.8186
On behalf of the City of Lavon, TX



T: 469.784.9321 | W: TraverseLandSurveying.com | O: 14200 Midway Road, Suite 130, Dallas, TX 75244

To Whom It May Concern,

Traverse Land Surveying received comments on Wednesday, April 10, 2024 and they have been reviewed by Traverse personnel and responses are below:

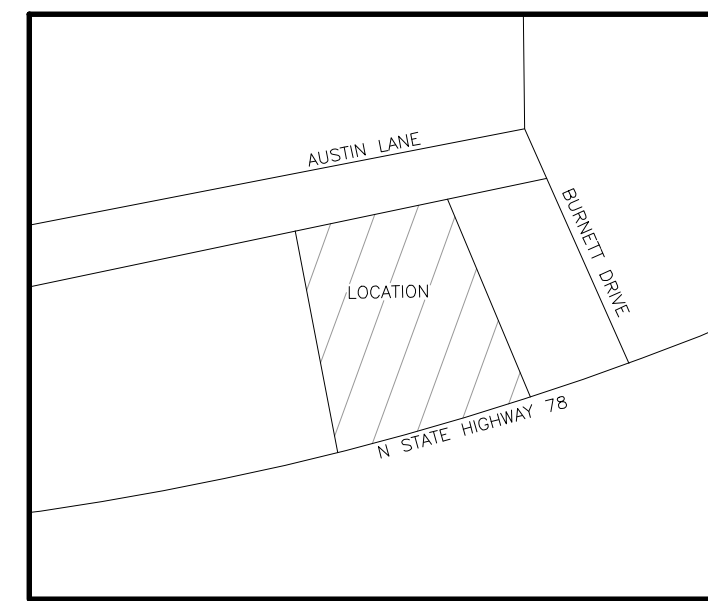
PLANNING AND DEVELOPMENT

1. Revise the plat to add the total width to the firelane, access and drainage easement label. – Comment acknowledged and addressed.
2. Revise the plat to add the total width to the mutual access and drainage easement. – Comment acknowledged and addressed.
3. Revise the Certificate of Ownership to reference the title of the subject plat (78 Commercial East), instead of SB Lavon Addition – Comment acknowledged and addressed.
4. Update Platted lot lines as a portion of the tract cannot remain unplatted. – Per Engineer comment with the City, the plat per LJA will incorporate this piece at a later date.
5. Label the easements to the east, the south and the west. – Comment acknowledged and addressed.

As always, we here at Traverse would like to make the platting process as smooth and easy on everyone as possible. We appreciate all of your help in making this a successful project. Please feel free to reach out with any questions, comments or concerns.

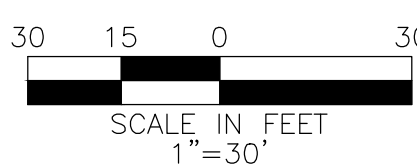
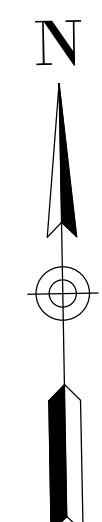
Thanks,

Grayson CeBallos, SIT
General Manager / Managing Partner
Traverse Land Surveying
grayson@traverselandsurveying.com
Direct Extension: 469-784-9321



Lot Table:
 Lot 5:
 Proposed Use: Commercial
 74,147 Square Feet
 1.700 Acres

VICINITY MAP
 NOT TO SCALE



GENERAL NOTES

- The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Altimera RTK Network and adjusted to surface using a scale factor of 1.00015271.
- Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
- The purpose of this plat is to create one recorded lot out of a tract of land.

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:
 That I, David F. McCullah, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

David F. McCullah
 REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS REGISTRATION NO. 4023

DATE: _____

STATE OF TEXAS §
 COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

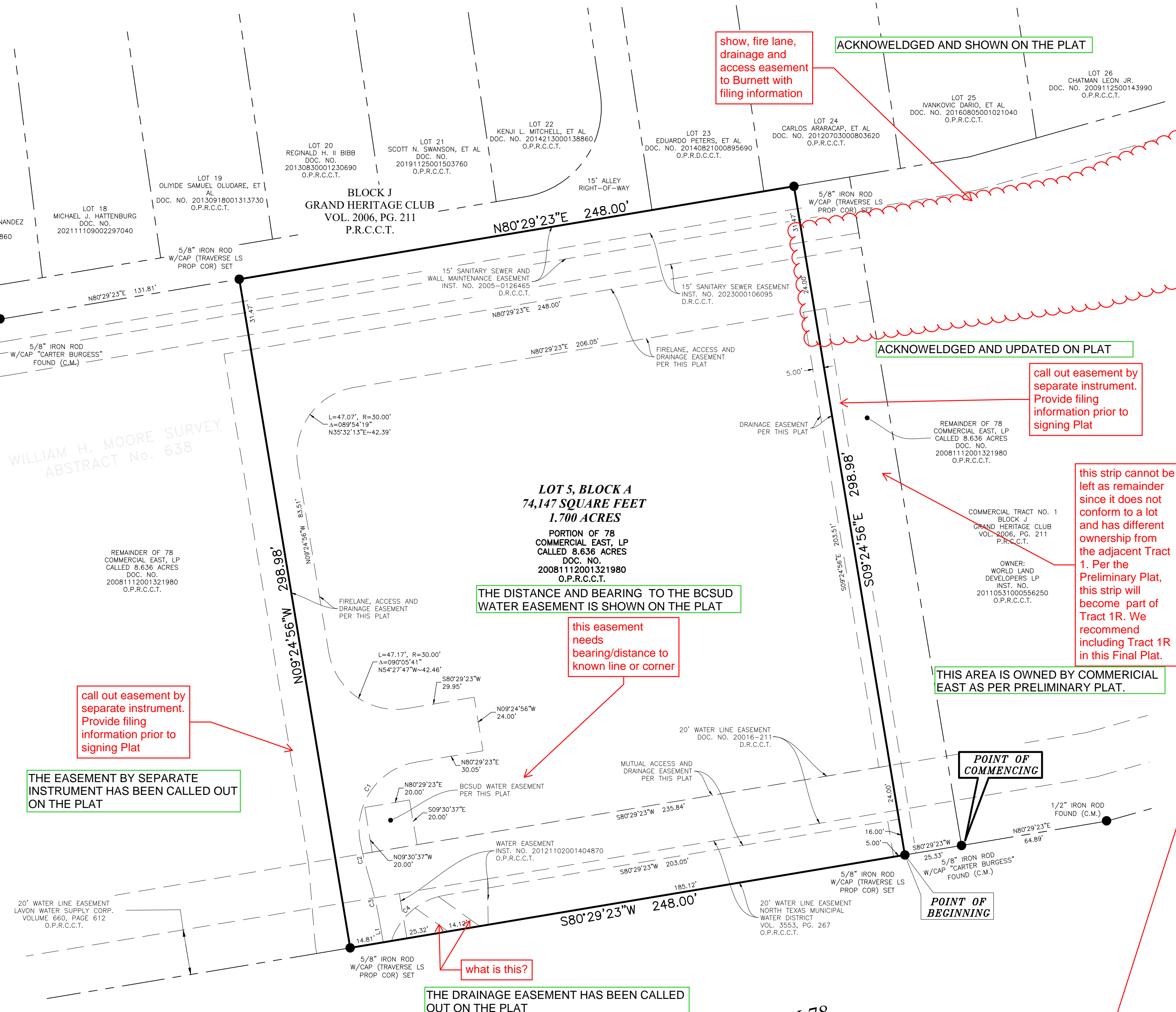
Given under my hand and seal of office this ____ day of _____, 202__

Notary Public in and for the State of Texas

FLOOD NOTES

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48085C0440J, dated June 02, 2009. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).

WILLIAM H. MOORE SURVEY
 ABSTRACT No. 638



call out easement by separate instrument. Provide filing information prior to signing Plat

THE EASEMENT BY SEPARATE INSTRUMENT HAS BEEN CALLED OUT ON THE PLAT

THE DISTANCE AND BEARING TO THE BCSUD WATER EASEMENT IS SHOWN ON THE PLAT

this easement needs bearing/distance to known line or corner

THE DRAINAGE EASEMENT HAS BEEN CALLED OUT ON THE PLAT

show, fire lane, drainage and access easement to Burnett with filing information

ACKNOWLEDGED AND SHOWN ON THE PLAT

ACKNOWLEDGED AND UPDATED ON PLAT

call out easement by separate instrument. Provide filing information prior to signing Plat

this strip cannot be left as remainder since it does not conform to a lot and has different ownership from the adjacent Tract 1. Per the Preliminary Plat, this strip will become part of Tract 1R. We recommend including Tract 1R in this Final Plat.

THIS AREA IS OWNED BY COMMERCIAL EAST AS PER PRELIMINARY PLAT.

POINT OF COMMENCING

POINT OF BEGINNING

STATE HIGHWAY 78
 (120' PUBLIC RIGHT-OF-WAY)

Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	47.07'	30.00'	089°54'19"	N35°32'13"E	42.39'
C2	19.53'	194.51'	005°45'09"	N14°09'37"W	19.52'
C3	16.09'	150.00'	006°08'45"	N13°12'42"W	16.08'
C4	32.56'	30.00'	062°10'55"	S49°23'55"W	30.98'

Line #	Distance	Bearing
L1	10.55'	N10°08'19"W

CERTIFICATE OF APPROVAL:
 Bear Creek Special Utility District Approval Certificate

Recommended for Approval:

 Bear Creek SUD, Lavon, Texas
 Signature _____ Date _____

Name / Title _____

ACKNOWLEDGED AND UPDATED

OWNER/DEVELOPER
 78 Commercial East, LP
 1601 Elm Street
 Dallas, Texas 75201

ENGINEER
 Triangle Engineering
 1782 W McDermott Drive
 Allen, Texas 75013

STATE OF TEXAS
 COUNTY OF COLLIN

WHEREAS 78 Commercial East, LP are the owners of a tract or parcel of land situated in the W.H. Moore Survey, Abstract No. 638, in the City of Lavon, Collin County, Texas, and being a portion of a tract of land described in Correction Warranty Deed to 78 Commercial East, LP, a Texas limited partnership, recorded in Document Number 2008112001321980, Official Public Records, Collin County, Texas (O.P.R.C.C.T.) and being more particularly described by metes and bounds as follows:

COMMENCING at a capped 5/8 inch iron rod stamped "CARTER BURGESS" found for corner in the most southeasterly corner of said portion of Commercial East tract, same being in the most southwest corner of Grand Heritage Club, a Commercial tract recorded in Volume 2006, Page 211, Official Public Records, Collin County, Texas, also being the most northerly right of way line of State Highway 78 (120' Public Right-Of-Way);

THENCE South 80 degrees 29 minutes 23 seconds West, along the north right-of-way line of said State Highway 78, a distance of 25.33 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner and said corner being the POINT OF BEGINNING;

THENCE South 80 degrees 29 minutes 23 seconds West, along said State Highway 78, a distance of 248.00 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner in the most southwesterly corner of said portion of Commercial East tract, same being the most southeasterly corner of the remainder of Commercial East, LP tract;

THENCE North 09 degrees 24 minutes 56 seconds West, along the common line between the west line of the portion of said Commercial East, LP tract and the East line of the remainder of said Commercial East, LP tract, a distance of 298.98 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner in the most northwesterly corner of said portion of Commercial East tract, same being the most northwesterly corner of said remainder of Commercial East tract, also being in the most southerly line of Block J, Grand Heritage Club, recorded in Volume 2006, Page 211, Public Records, Collin County, Texas;

THENCE North 80 degrees 29 minutes 23 seconds East, along the common line between the most northerly line of said remainder of Commercial East tract and the most southerly line of said Grand Heritage Club, Block J, a distance of 248.00 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner in the most northwesterly corner of said remainder of Commercial East tract, same being the most northwesterly corner of said Grand Heritage Club, Commercial tract;

THENCE South 09 degrees 24 minutes 56 seconds East, a distance of 298.98 feet to the POINT OF BEGINNING and containing 74,147 square feet or 1.700 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT 78 Commercial East, LP do hereby adopt this Final Plat, designating herein described property as SB Lavon Addition, in addition to the City of Lavon, Collin County, Texas, and does hereby dedicate in fee simple to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed in any Easements. Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Lavon's use thereof. The City of Lavon and public utility entities shall have the right to remove and keep removed improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Lavon and public utility entities shall at all times have full right for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time procuring the permission from anyone. This Final Plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Lavon, Texas.

Witness, my hand at _____ This ____ day of _____, 20____.

Signature - 78 Commercial East, LP **ACKNOWLEDGED AND UPDATED**

Printed Name _____

Title / Date _____

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20____.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL:
 Recommended for Approval:
 _____ Date _____
 Chairman, Planning and Zoning Commission

Approved for Construction:
 _____ Date _____
 Mayor, City of Lavon

Accepted:
 _____ Date _____
 Mayor, City of Lavon

The undersigned, the City Secretary of the City of Lavon, Texas, hereby certifies that the foregoing Final Plat of SB Lavon, a subdivision or addition to the City of Lavon was submitted to the City Council on the ____ day of _____, 20____ and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat and said council further authorized the mayor to note the acceptance thereof by signing his or her name as hereinabove subscribed.

 City Secretary, City of Lavon, Texas

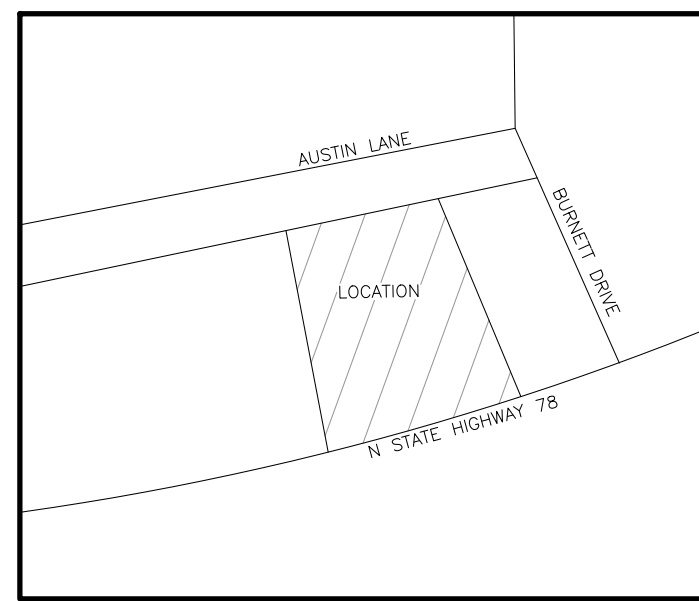
incorrect name
ACKNOWLEDGED AND UPDATED



14200 Midway Road, Suite 130, Dallas, TX 75241 | T: 469.784.9321
 W: TraverseLandSurveying.com | Texas Firm No. 10194631

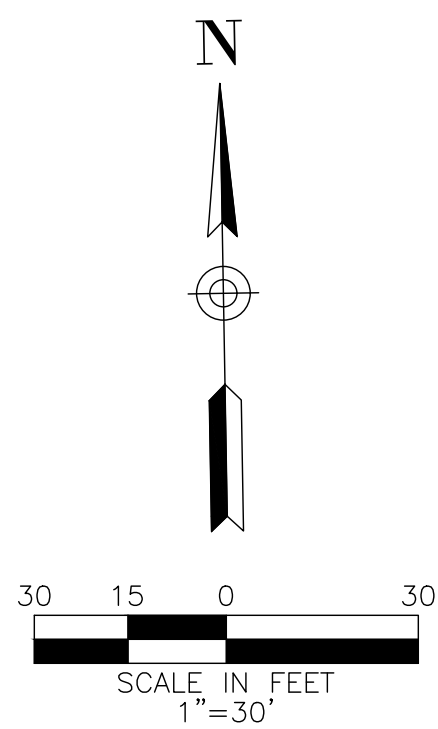
Surveying | Construction Staking | Platting
 Date: March 28, 2024 Project No.: TR-141-23

FINAL PLAT
LOT 5, BLOCK A
78 COMMERCIAL EAST
 BEING 1.700 ACRES
 OUT OF THE WILLIAM H. MOORE SURVEY,
 ABSTRACT NO. 638
 CITY OF LAVON, COLLIN COUNTY, TEXAS
 MARCH 2024



Lot Table:
 Lot 5:
 Proposed Use: Commercial
 74,147 Square Feet
 1.700 Acres

VICINITY MAP
 NOT TO SCALE



GENERAL NOTES

- The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Altimera RTK Network and adjusted to surface using a scale factor of 1.00015271.
- Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
- The purpose of this plat is to create one recorded lot out of a tract of land.
- The affsate drive from Burnett to the subject site to be developed during Lot 5 development.

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:
 That I, David F. McCullah, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

David F. McCullah
 REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS REGISTRATION NO. 4023

DATE: _____

STATE OF TEXAS §
 COUNTY OF DALLAS §

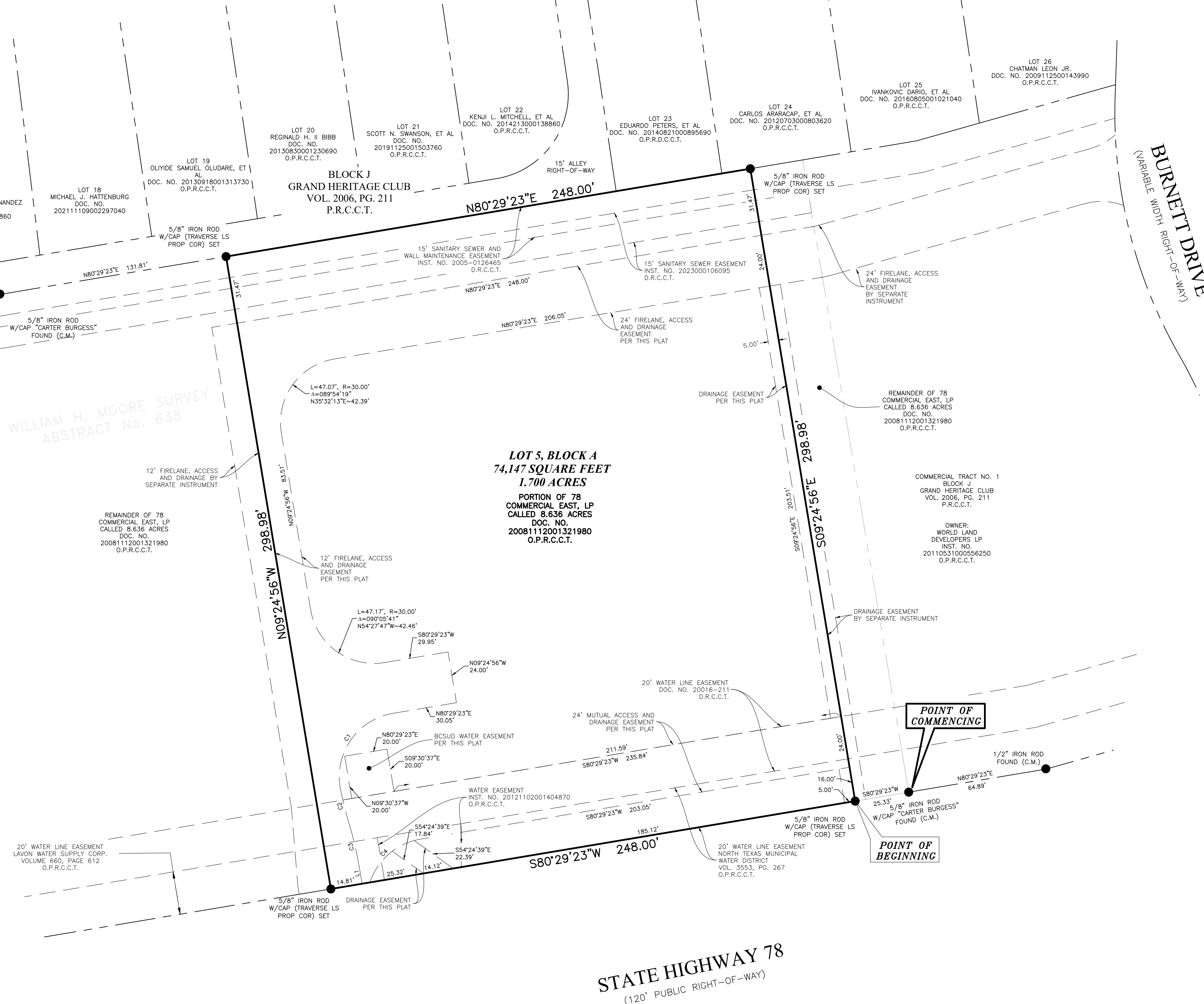
BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 202__

Notary Public in and for the State of Texas

FLOOD NOTES

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48085C0440J, dated June 02, 2009. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).



Curve Data Table					
Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	47.07'	30.00'	089°54'19"	N35°32'13"E	42.39'
C2	19.53'	194.51'	005°45'09"	N14°09'37"W	19.52'
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C4	32.56'	30.00'	062°10'55"	S49°23'55"W	30.98'

Line Data Table		
Line #	Distance	Bearing
L1	10.55'	N10°08'19"W

CERTIFICATE OF APPROVAL:
 Bear Creek Special Utility District Approval Certificate
 Recommended for Approval:

 Bear Creek SUD, Lavon, Texas
 Signature _____ Date _____
 Name / Title _____

OWNER/DEVELOPER
 78 Commercial East, LP
 1601 Elm Street
 Dallas, Texas 75201

ENGINEER
 Triangle Engineering
 1782 W McDermott Drive
 Allen, Texas 75013



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321
 W: Traverselandsurveying.com | Texas Firm No. 10194631
 Surveying | Construction Staking | Platting
 Date: March 28, 2024 Project No.: TR-141-23

FINAL PLAT
LOT 5, BLOCK A
78 COMMERCIAL EAST
 BEING 1.700 ACRES
 OUT OF THE WILLIAM H. MOORE SURVEY,
 ABSTRACT NO. 638
 CITY OF LAVON, COLLIN COUNTY, TEXAS
 MARCH 2024

STATE OF TEXAS
 COUNTY OF COLLIN

WHEREAS 78 Commercial East, LP are the owners of a tract or parcel of land situated in the W.H. Moore Survey, Abstract No. 638, in the City of Lavon, Collin County, Texas, and being a portion of a tract of land described in Correction Warranty Deed to 78 Commercial East, LP, a Texas limited partnership, recorded in Document Number 2008112001321980, Official Public Records, Collin County, Texas (O.P.R.C.C.T.) and being more particularly described by metes and bounds as follows:

COMMENCING at a capped 5/8 inch iron rod stamped "CARTER BURGESS" found for corner in the most southeasterly corner of said portion of Commercial East tract, same being in the most southeasterly corner of Grand Heritage Club, a Commercial tract recorded in Volume 2006, Page 211, Official Public Records, Collin County, Texas, also being the most northerly right of way line of State Highway 78 (120' Public Right-Of-Way);

THENCE South 80 degrees 29 minutes 23 seconds West, along the north right-of-way line of said State Highway 78, a distance of 25.33 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner and said corner being THE POINT OF BEGINNING;

THENCE South 80 degrees 29 minutes 23 seconds West, along said State Highway 78, a distance of 248.00 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner in the most southeasterly corner of said portion of Commercial East tract, same being the most southeasterly corner of the remainder of Commercial East, LP tract;

THENCE North 09 degrees 24 minutes 56 seconds West, along the common line between the west line of the portion of said Commercial East, LP tract and the East line of the remainder of said Commercial East, LP tract, a distance of 298.98 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner in the most northerly corner of said portion of Commercial East tract, same being the most northerly corner of said remainder of Commercial East tract, also being in the most southerly line of Block J, Grand Heritage Club, recorded in Volume 2006, Page 211, Public Records, Collin County, Texas;

THENCE North 80 degrees 29 minutes 23 seconds East, along the common line between the most northerly line of said remainder of Commercial East tract and the most southerly line of said Grand Heritage Club, Block J, a distance of 248.00 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner in the most northerly corner of said remainder of Commercial East tract, same being the most northwesterly corner of said Grand Heritage Club, Commercial tract;

THENCE South 09 degrees 24 minutes 56 seconds East, a distance of 298.98 feet to the POINT OF BEGINNING and containing 74,147 square feet or 1.700 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT 78 Commercial East, LP do hereby adopt this Final Plat, designating herein described property as 78 Commercial East, an addition to the City of Lavon, Collin County, Texas, and does hereby dedicate in fee simple to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed in any Easements. Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Lavon's use thereof. The City of Lavon and public utility entities shall have the right to remove and keep removed improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Lavon and public utility entities shall at all times have full right for the purpose of construct, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time procuring the permission from anyone. This Final Plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Lavon, Texas.

Witness, my hand at _____ This ____ day of _____, 20____

Signature - 78 Commercial East, LP

Printed Name _____

Title / Date _____

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20____

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL:
 Recommended for Approval:

 Chairman, Planning and Zoning Commission _____ Date _____
 Approved for Construction:
 Mayor, City of Lavon _____ Date _____
 Accepted:
 Mayor, City of Lavon _____ Date _____
 The undersigned, the City Secretary of the City of Lavon, Texas, hereby certifies that the foregoing Final Plat of 78 Commercial East, a subdivision or addition to the City of Lavon was submitted to the City Council on the ____ day of _____, 20____ and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat and said council further authorized the mayor to note the acceptance thereof by signing his or her name as hereinabove subscribed.
 WITNESS my hand this ____ day of _____, 20____

 City Secretary, City of Lavon, Texas

April 10, 2024

Ms. Kim Dobbs
City of Lavon
PO Box 340
Lavon, TX 75166

Re: 78 Commercial East – Lot 5, Block A, 1.700 Acres
Daycare Facility
Final Plat Review

Dear Ms. Dobbs:

As requested, we have reviewed the Final Plat dated March 28, 2024, as prepared by Traverse Land Surveying LLC and Engineering Plans dated April 5, 2024 as prepared by Triangle Engineering LLC and Traffic Impact Analysis dated January 31, 2024 as prepared by LJA Engineering, Inc. for the above referenced property. The property is located on the north side of SH 78, south of Grand Heritage Club, west of Burnett Dr. and east of the Grand Heritage Blvd. in the City of Lavon.

Planning comments have been provided by LJA Engineering, Inc. FMI comments should be considered supplemental to the LJA comments. Plans for any improvements have not been provided for review. Our comments are as follows:

GENERAL

1. The project consists of a Daycare facility.
2. A new driveway and deceleration lane are proposed on SH 78. These plans, and associated construction and drainage within the ROW, will require TxDOT approval.
3. A second access point will be constructed at Burnett Dr.

FINAL PLAT

4. The offsite easements should be called out and filing information provided.
5. The BCUSD easement in the southwest corner should include a bearing distance to known line or corner.
6. There are some lines in the southwest corner that are not identified.
7. The text references the incorrect subdivision name.
8. The signature line and owners' information do not match.
9. On the east side of the property there is a strip of land between this lot and Commercial Tract No. 1. This remainder piece does not conform to the requirements for a lot, and, therefore, cannot be orphaned per this Plat. Since per the Preliminary Plat this strip will be joined with Commercial Tract No. 1 to form Commercial Tract No. 1R, we recommend that this revised lot be included in this Final Plat.

ENGINEERING PLANS

10. Sheet C-4.0 – The proximity of the curb cut and STM-B outfall should be verified. Consideration for additional rip-rap or other should be considered for erosion control in this area.
11. Sheet C-6.0 – We recommend that the culvert designations per the TxDOT plans be included on the drainage plan. This will allow for easier coordination of the TxDOT plans with the proposed plans.
12. Sheet C-9.0 – The connection to the existing manhole note should include the requirement for coring of the manhole and the use of PSX Positive Seal or equal for the pipeline connection. Grout is not allowed.
13. Sheet C-9.0 – The Engineer should verify that the relocated blow off valve does not conflict with the future driveway per the Preliminary Plat.

TRAFFIC IMPACT ANALYSIS

14. The analysis recommends a deceleration lane into the driveway on SH 78, which is being provided. This will require TxDOT approval.

This concludes our review of the above-referenced Final Plat, Engineering Plans and Traffic Impact Analysis. A copy, with markups, is attached for your convenience.

The review conducted by FMI was for the limited purpose of code and ordinance compliance review for the exclusive benefit of the City of Lavon. The above referenced documents were not reviewed as to their quality or for errors on the part of the surveyor or engineer.

If there are any questions, please contact me at 214-503-0555 x115 or by email at mdhill@fmi-dallas.com.

Sincerely,
FREEMAN-MILLICAN, INC.



Mark D. Hill, P.E.
Consulting City Engineer

Cc: David Carter, Mike Jones, Danny Anthony

F:\17024 - LAV General Services\9 - Review\78 Commercial East\AKRA Momtessori\78 Commercial East - Lot 5 - Daycare - Final Plat - Rev 0.docx

April 9, 2024

Kim Dobbs
City Manager
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare
Site Plan Review
LJA Job No. NTP-40467
MyGov Submittal: April 5, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. We **recommend approval with the following condition:**

1. Repeat comment: The proposed Preliminary Plat labels this lot as Lot 5. Revise the Site Plan to label this lot consistently with the proposed Preliminary Plat.

SITE PLAN IS REVISED ON THE
TITLE BLOCK OF THE SITE PLAN

Please do not hesitate to let us know if you have any questions.

Thank you,



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

April 10, 2024

Ms. Kim Dobbs
City of Lavon
PO Box 340
Lavon, TX 75166

Re: 78 Commercial East – Lot 5, Block A, 1.700 Acres
Daycare Facility
Final Plat Review

Dear Ms. Dobbs:

As requested, we have reviewed the Final Plat dated March 28, 2024, as prepared by Traverse Land Surveying LLC and Engineering Plans dated April 5, 2024 as prepared by Triangle Engineering LLC and Traffic Impact Analysis dated January 31, 2024 as prepared by LJA Engineering, Inc. for the above referenced property. The property is located on the north side of SH 78, south of Grand Heritage Club, west of Burnett Dr. and east of the Grand Heritage Blvd. in the City of Lavon.

Planning comments have been provided by LJA Engineering, Inc. FMI comments should be considered supplemental to the LJA comments. Plans for any improvements have not been provided for review. Our comments are as follows:

GENERAL

1. The project consists of a Daycare facility. **ACKNOWLEDGED.**
2. A new driveway and deceleration lane are proposed on SH 78. These plans, and associated construction and drainage within the ROW, will require TxDOT approval. **ACKNOWLEDGED. LJA IS COORDINATING WITH TXDOT REGARDING THE DRIVEWAY AND DECELERATION LANE.**
3. A second access point will be constructed at Burnett Dr. **ACKNOWLEDGED AND WILL BE CONSTRUCTED DURING LOT 5 DEVELOPMENT**

FINAL PLAT

4. The offsite easements should be called out and filing information provided. **ACKNOWLEDGED AND CALLED OUT ON THE PLAT**
5. The BCUSD easement in the southwest corner should include a bearing distance to known line or corner. **ACKNOWLEDGED SHOWN THE BEARING AND DISTANCE**
6. There are some lines in the southwest corner that are not identified. **ACKNOWLEDGED SHOWN ON THE PLAT**
7. The text references the incorrect subdivision name. **ACKNOWLEDGED AND UPDATED ON THE PLAT**
8. The signature line and owners' information do not match. **ACKNOWLEDGED AND UPDATED ON THE PLAT**
9. On the east side of the property there is a strip of land between this lot and Commercial Tract No. 1. This remainder piece does not conform to the requirements for a lot, and, therefore, cannot be orphaned per this Plat. Since per the Preliminary Plat this strip will be joined with Commercial Tract No. 1 to form Commercial Tract No. 1R, we recommend that this revised lot be included in this Final Plat. **THE REMAINDER PIECE IS ACQUIRED AND SHOWN N THE PRELIMINAARY PLAT DONE BY LJA.**

ENGINEERING PLANS

10. Sheet C-4.0 – The proximity of the curb cut and STM-B outfall should be verified. Consideration for additional rip-rap or other should be considered for erosion control in this area. ADDITIONAL RIP RAP IS ADDED FROM CURBCUT TO THE OUTFALL TO PREVENT EROSION CONTROL IN THE AREA.
11. Sheet C-6.0 – We recommend that the culvert designations per the TxDOT plans be included on the drainage plan. This will allow for easier coordination of the TxDOT plans with the proposed plans. THE INLET HAS BEEN CALLED OUT AND THE PLANS HAS BEEN MENTIONED ON C-6.0 FOR TXDOT
12. Sheet C-9.0 – The connection to the existing manhole note should include the requirement for coring of the manhole and the use of PSX Positive Seal or equal for the pipeline connection. Grout is not allowed. UPDATED ON THE CALLOUT AS WELL AS ADDED ON THE UTILITY NOTES
13. Sheet C-9.0 – Th Engineer should verify that the relocated blow off valve does not conflict with the future driveway per the Preliminary Plat.

THE BLOFF VALVE HAS BEEN VERIFIED AND IS NOT BLOCKING THE FUTURE DRIVEWAY AND WE ARE COORDINATING WITH NTMWD REGARDING THE LOCATION AND DISCHARGE OF WATER.

TRAFFIC IMPACT ANALYSIS

14. The analysis recommends a deceleration lane into the driveway on SH 78, which is being provided. This will require TxDOT approval.

LJA IS COORDINATING WITH TXDOT REGARDING THE DECELERATION LANE INTO THE DRIVEWAY ON SH78

This concludes our review of the above-referenced Final Plat, Engineering Plans and Traffic Impact Analysis. A copy, with markups, is attached for your convenience.

The review conducted by FMI was for the limited purpose of code and ordinance compliance review for the exclusive benefit of the City of Lavon. The above referenced documents were not reviewed as to their quality or for errors on the part of the surveyor or engineer.

If there are any questions, please contact me at 214-503-0555 x115 or by email at mdhill@fmi-dallas.com.

Sincerely,
FREEMAN-MILLICAN, INC.



Mark D. Hill, P.E.
Consulting City Engineer

Cc: David Carter, Mike Jones, Danny Anthony

F:\17024 - LAV General Servies\9 - Review\78 Commercial East\AKRA Momtessori\78 Commercial East - Lot 5 - Daycare - Final Plat - Rev 0.docx



CITY OF LAVON Agenda Brief

MEETING: May 7, 2024

ITEM: 6 - D

Item:

CONSENT AGENDA

Approve Resolution No. 2024-05-01 approving and authorizing the execution of a professional services reimbursement agreement with MA Elevon 429, LLC for professional services associated with the review of a proposed development agreement amendment relating to the Elevon project and to approximately 180 acres southeast of the intersection of FM 2755 and Watkins Road.

Background:

On September 21, 2021, the City and developer entered into a Development Agreement relating to the development of what is known as the Elevon project. A First Amendment to the Development Agreement was approved on January 18, 2022.

On April 29, 2024, MA Partners submitted a proposed 2nd Amendment to the Elevon Development Agreement to amend certain terms pertaining to the existing project and to expand the terms to add approximately 180 acres to the project. A city team of professionals will undertake the process of review and negotiation of the proposed amendment, such expenses customarily being reimbursed by the applicant or developer.

Financial Implication:

The reimbursement prevents resources from taxpayers of the City funding the review.

Staff Notes:

The City Attorney has reviewed the proposed agreement and approval is recommended.

Attachment: Proposed Resolution and Agreement

CITY OF LAVON, TEXAS
RESOLUTION NO. 2024-05-01

Elevon – Development PSA Reimbursement

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS APPROVING AND AUTHORIZING THE EXECUTION OF A PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT WITH MA ELEVON 429, LLC FOR PROFESSIONAL SERVICES ASSOCIATED WITH THE REVIEW OF A PROPOSED DEVELOPMENT AGREEMENT AMENDMENT RELATING TO THE ELEVON PROJECT AND TO APPROXIMATELY 180 ACRES SOUTHEAST OF THE INTERSECTION OF FM 2755 AND WATKINS ROAD; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the MA Elevon 429, LLC has submitted a proposed amendment to an approved Development Agreement to amend certain terms and add property related to the Elevon project; and

WHEREAS, the City will incur expenses during the review and negotiation process of the proposed development agreement associated with professional services, legal publications, notices, reproduction of materials, public hearing expenses, recording of documents, engineering fees, attorney fees, and special consultant fees; and

WHEREAS, the City Council has considered and determined that approval of an agreement for the developer to reimburse the costs of such professional services and expenses are in the best interest of the general health, welfare, and safety of the citizens of Lavon.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS, THAT:

SECTION 1. The City Council does hereby approve and authorize the execution of a professional services reimbursement agreement with MA Elevon 429, LLC for professional services associated with the review of a proposed development agreement amendment relating to the Elevon project and to approximately 180 acres southeast of the intersection of FM 2755 and Watkins Road, attached hereto and incorporated herein as Exhibit “A”.

SECTION 2. The City Council hereby finds, determines, and declares that the meeting, at which this resolution is passed, approved, and adopted, was open to the public, and that the public notice of time, place and subject matter to be considered was posted as required by law.

SECTION 3. That this resolution shall take effect from and after the date of its passage.

DULY PASSED AND APPROVED by the City Council of the City of Lavon, Texas on the 7th day of May 2024.

Vicki Sanson, Mayor

ATTEST:

Rae Norton, City Secretary

CITY OF LAVON, TEXAS
RESOLUTION NO. 2024-05-01

EXHIBIT A

**PROFESSIONAL SERVICES
REIMBURSEMENT AGREEMENT**

This Professional Services Reimbursement Agreement (this “Agreement”) is made and entered into as of _____ (the “Effective Date”), by and between the City of Lavon (the “City”) and MA Elevon 429, LLC, a Texas limited liability company (“Developer”), herein collectively referred to as (“Party” or “Parties”).

RECITALS

WHEREAS, Developer is under contract to purchase approximately 180 acres of real property located in the City’s extraterritorial jurisdiction, being more particularly depicted in Exhibit A attached hereto (the “Property”);

WHEREAS, Developer intends to develop a high-quality mixed use development on the Property;

WHEREAS, the City and the Developer have no existing development agreement or other agreement between them with respect to the development of the Property or use of a special district to finance costs of public improvements necessary for the development of the Property;

WHEREAS, the Parties entered into that certain “Elevon Development Agreement” for 1,268.695 acres of land, effective November 2, 2021 (the "Development Agreement"), and Developer now intends to explore options for amending the Development Agreement to include the Property;

WHEREAS, the Parties have determined that the financing of a portion of the costs of the public improvements necessary for the development of the Property may be achieved by means of a Public Improvement District (“PID”) or through creation of a tax increment reinvestment zone, a municipal utility district, a municipal management district, or other similar district; and

WHEREAS, the Parties recognize that the City will incur and continue to incur expenses through the negotiation and preparation of a development agreement between the Parties and covering the Property, and the entire review process for the development, until final completion of the development, including, but not limited to: professional services, legal publications, notices, reproduction of materials, public hearing expenses, recording of documents, engineering fees, attorney fees, and special consultant fees (collectively, “City Expenses”).

AGREEMENT

NOW, THEREFORE, in consideration of the mutual benefits and promises contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. Payment for Professional Services.

- (a) Within 5 days following the Effective Date, Developer shall deposit \$20,000 with the City for pre-payment of City Expenses, except as otherwise provided in Sec. 1(h).
- (b) The City shall hold all of Developer's contributions in a separate fund maintained by the City that may only be used for City Expenses or provide for any separate accounting that may clearly show Developer's contributions and City expenses.
- (c) The City will pay City Expenses out of the amount deposited with the City and keep accounting of all charges for City Expenses incurred, and any unused contributions shall be returned to the Developer.
- (d) If the balance of funds for City Expenses falls below \$5,000, Developer shall, upon City request, and upon City's delivery of an accounting of all City Expenses to date if requested by Developer, remit an additional amount of not less than \$10,000.
- (e) If the balance of funds for City Expenses is exhausted, Developer shall, upon notice from the City, pay the balance owed in full within fifteen (15) days in addition to the remittance of the additional funds as provided above.
- (f) In the instance that (i) deposits of additional funds are not timely made, or (ii) this Agreement is terminated for any reason before the creation of a PID, the City has no obligation to incur any additional costs and expenses in connection with the development agreement, financing options, municipal service and entitlement matters, or any other City Expenses.
- (g) All City Expenses shall either be paid for under this Agreement, by the administrative expenses provided for by the PID, by City fees, or any other lawful method. In no event shall a City Expense be reimbursed to the City by the Developer under this Agreement which has already been paid for by some other method, and in no event shall a City Expense be paid for more than once. But in the event a City Expense is due to the City while this Agreement is in effect, and is not paid by any method outside of this Agreement, the City may seek reimbursement of such City Expense under this Agreement.

2. Termination. This Agreement shall terminate on the earlier to occur of (i) six (6) months of the Effective Date, or (ii) the creation of the PID, at which time the PID shall be the source of funding for the City Expenses. This Agreement may terminate on an earlier date upon Developer's delivery of five (5) calendar days' prior written notice of termination to the City (the "Termination Date"); provided, however fees for City Expenses incurred by the City on or before

the Termination Date shall be funded under Section 1. The Parties may extend this Agreement in writing at any time prior to the Termination Date.

3. Entire Agreement. This Agreement contains the entire agreement between the Parties with respect to the transactions contemplated herein.

4. Amendment. This Agreement may only be amended, altered or revoked by written instrument approved by the City Council.

5. Successors and Assigns. Neither the City nor Developer may assign or transfer their interest in the Agreement without prior written consent of the other Party.

6. Notice. Any notice and/or statement required and permitted to be delivered shall be deemed delivered by depositing same in the United States Mail, Certified, with Return Receipt Requested, postage prepaid, addressed to the appropriate Party at the following addresses, or at such other addresses provided by the Parties in writing, or when delivered by email, addressed to the intended recipient at the email address shown below.

City:

Kim Dobbs, City Manager
City of Lavon
P.O. Box 340, 120 School Rd.
Lavon, TX 75166

With a Copy to:

Julie Fort, City Attorney
Messer Fort McDonald
6371 Preston, Suite 200
Frisco, Texas 75034

Developer:

John Marlin, Manager
MA Elevon 429, LLC
2121 Midway Rd., Suite 240
Carrollton, TX 75006

With a Copy to:

7. Interpretation. Regardless of the actual drafter of this Agreement, this Agreement shall, in the event of any dispute over its meaning or application, be interpreted fairly and reasonably and neither more strongly for or against either Party.

8. Applicable Law. This Agreement is made and shall be construed in accordance with the laws of the State of Texas and venue shall lie in Collin County, Texas.

9. Severability. In the event any portion or provision of this Agreement is illegal, invalid, or unenforceable under present or future law, then and in that event, it is the intention of the Parties hereto that the remainder of this Agreement shall not be affected thereby, and it is also the intention of the Parties to this Agreement that in lieu of each clause or provision that is found to be illegal, invalid or unenforceable, a provision be added to this Agreement which is legal, valid and enforceable and is as similar in terms as possible to the provision found to be illegal, invalid or unenforceable.

10. Counterparts. This Agreement may be executed in multiple counterparts, each of which shall be considered an original, but all of which shall constitute one instrument.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed effective as of the Effective Date.

CITY

City of Lavon Texas

By: _____
Vicki Sanson, Mayor

ATTEST:

City Secretary

DEVELOPER

MA Elevon 429, LLC,
a Texas limited liability company


By:  _____
Name: Allen Jones
Title: manager

EXHIBIT A



CITY OF LAVON Agenda Brief

MEETING: May 7, 2024

ITEM: 7 – A

Item:

Discussion and action regarding the site plan and landscape plan of the Lavon Retail Plaza east of and adjacent to 875 S. SH 78, Block A, Lot 3, SB Lavon Addition on 1.505 acres of land, northeast of the intersection of SH 78 and Burleson Dr., Lavon, Collin County, TX (CCAD Property ID 2614354).

Application Information

Owner(s): 78 Commercial West LP

Applicant: Kiew Kam, Triangle Engineering LLC

Location: East of and adjacent to 875 S. SH 78, northeast of the intersection of SH 78 and Burleson

Description: Block A, Lot 3, SB Lavon Addition on 1.505 acres of land
William H. Moore Survey, Abstract No. 638
City of Lavon, Collin County, Texas, (CCAD Parcel ID 2892638)

Current Zoning: Planned Development

Request: Site Plan and Landscape Plan

Request Details

The applicant is seeking approval of the site plan and landscape plan of the Lavon Retail Plaza. The site plan indicates plans for construction of a proposed retail and restaurant structure 11,905 square feet in area. The structure contains a drive-through lane on the west side.

The site will be developed in accordance with the Grand Heritage Planned Development District regulations, Ordinance No. 2004-09-05, as amended.

Code Excerpt:

**LAVON CODE OF ORDINANCES – ZONING ORDINANCE
DIVISION 7 – SITE PLAN**

9.03.151 PURPOSE

The purpose of this Section is to regulate the manner in which land in the City of Lavon is used and developed, minimize adverse effects on surrounding property or the general public, protection from fire, protection of adjacent uses from obstructions to light, air and visibility plus provision of adequate storm water drainage facilities, transportation, water and sanitary sewage facilities.

9.03.154 CRITERIA FOR APPROVAL

- a) All applicable City of Lavon Comprehensive Master Plan and Ordinance requirements shall have been met as a condition of site plan approval.
- b) All applicable Site Plan requirements of this Subtitle shall have been met as a condition of site plan approval.
- c) The adequate capacity of public or private facilities for water, sewer and access to, from and through the development shall be met as a condition of site plan approval. City reserves the right to deny approval of a site plan based upon insufficient capacity of any public facility or facilities.

Zoning: The property is zoned Planned Development (PD). The proposed development of the property is permitted. The site plan and landscape plan are prepared in conformance with the approved zoning requirements.

Platting: The property is platted.

Access: Access is provided on SH 78 and via cross access easements across two properties to Burleson Drive.

Utilities: The site will be served water by a Special Utility District and sanitary sewer by the City of Lavon.

Screening and Landscaping: Screening is provided in accordance with the zoning requirements.

Planning and Zoning Commission Report:

MOTION: RECOMMEND APPROVAL OF THE SITE PLAN AND LANDSCAPE PLAN OF THE LAVON RETAIL PLAZA EAST OF AND ADJACENT TO 875 S. SH 78, BLOCK A, LOT 3, SB LAVON ADDITION ON 1.505 ACRES OF LAND, NORTHEAST OF THE INTERSECTION OF SH 78 AND BURLESON DR., LAVON, COLLIN COUNTY, TX SUBJECT TO CITY STAFF, PLANNER AND ENGINEER FINAL REVIEW.

MOTION MADE: TIEGS
SECONDED: NABORS
APPROVED: UNANIMOUS

Staff Notes:

The proposed applications were reviewed by the planning consultant and staff development review committee (DRC). The site plan consideration does not include signage.

Approval of the site plan and landscape plan are recommended.

- Attachments:**
- 1. Application and Site Plan; Building Elevations
 - 2. Landscape Plan

3. Location Exhibits
4. Review comments



CITY OF LAVON SITE PLAN APPLICATION

P.O. Box 340 120 School Rd., Lavon, TX 75166
Office (972) 843-4220 Fax (972) 843-0397

APPLICATION INFORMATION

Name: 78 COMMERCIAL WEST, LP
Address: 2101 CEDAR SPRINGS RD. #600
Telephone Number: 214-880-8434
Email Address: MJOHNSON@PETROHUNT.COM

LEGAL DESCRIPTION: (Lot, Block, Subdivision, or CAD Tract No, Survey, Abstract, Address)

Lot 3 & 4, Block A SB Lavon Addition

SUBDIVISION NAME: (approved plat is prerequisite) SB Lavon Addition

ZONING: PD-1 Grand Heritage

LEGAL OWNER OF PROPERTY INVOLVED: 78 COMMERCIAL WEST, LP

If Applicant is NOT the Owner, Relationship to Owner: _____

I AM THE OWNER OR AGENT AUTHORIZED TO MAKE THE ABOVE STATEMENTS AND REPRESENTATIONS HEREIN ON BEHALF OF THE OWNER.

Signature: KIEW KAM
Owner / Authorized Agent

02-22-2024
Date

Printed Name: KIEW KAM
Owner / Authorized Agent

Title: PROJECT MANAGER

Company: TRIANGLE ENGINEERING LLC

City Office Use Only:

	Amount:	Check #	or Cash _____
Fee paid (due at time of application) Cost plus admin fee - \$500 deposit			
Required items submitted			
Development Engineer Comments			
Development Review Committee Comments			
Comments Addressed by Applicant			
Planning & Zoning Action			
City Council Action			



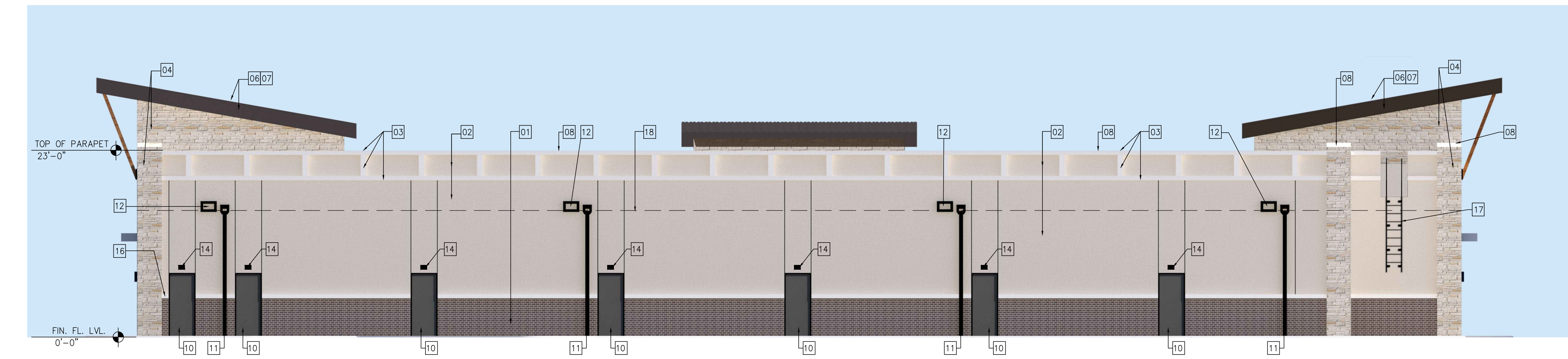
SOUTH ELEVATION:

TOTAL FACADE AREA	= 4,181 SF
GLASS/DOOR AREA	= 1,440 SF
NET FACADE AREA	= 2,741 SF
BRICK AREA	= 1,242 SF (46%)
02 STUCCO	= 205 SF (07%)
03 STUCCO	= 107 SF (04%)
STONE AREA	= 1187 SF (43%)
TOTAL MASONRY AREA	= 2741 SF (100%)

1 SOUTH ELEVATION
 FP-1 SCALE: 1/8"=1'-0"

ELEVATION MATERIAL KEY

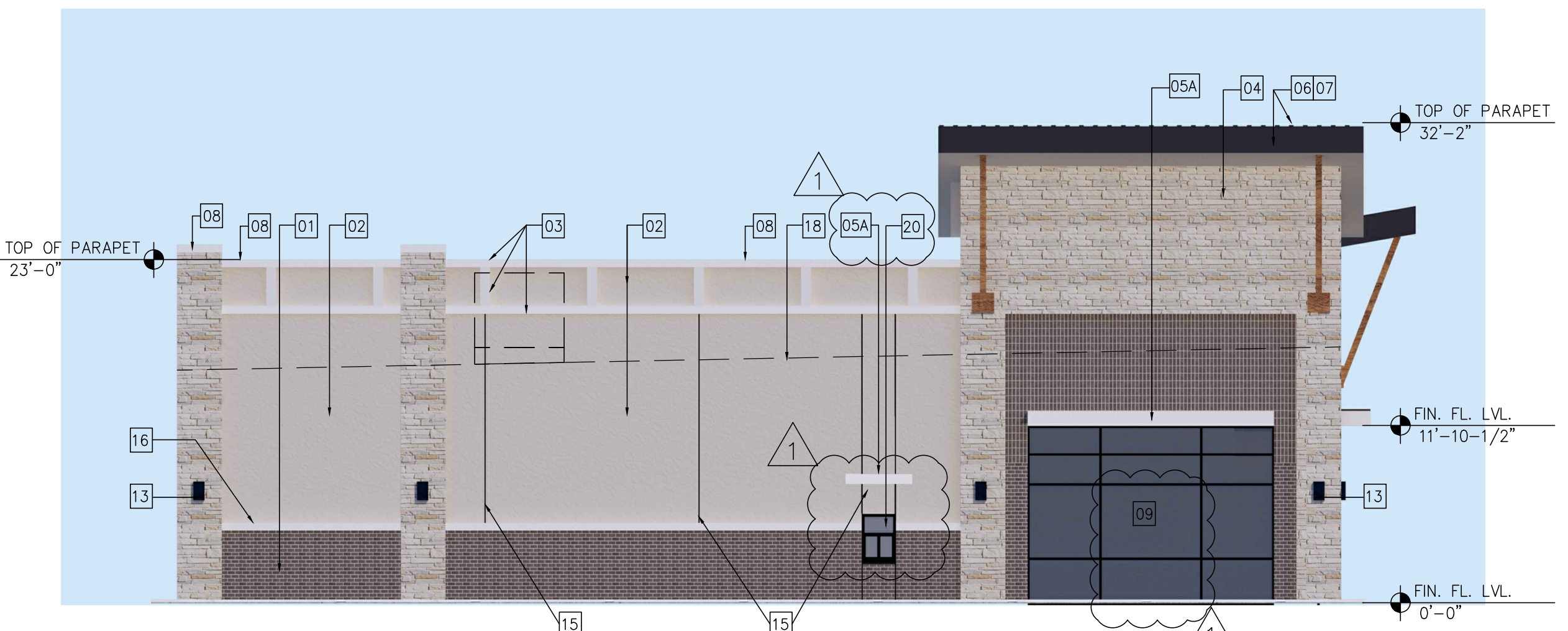
01	BRICK VENEER BY BELDEN BRICK COLOR: METALLIC BLACK (MODULAR SIZE) WITH VERTICAL SCORE
02	3 STEP STUCCO FINISH COLOR: SW 7013 (IVORY LACE)
03	3 STEP STUCCO FINISH COLOR: SW 7006 (EXTRA WHITE)
04	COUNTRY LEDGESTONE-WHITE OAK BY CULTURED STONE
05A	CANTILEVER STRAIGHT METAL AWNING COLOR: SHASTA WHITE
05B	CANTILEVER STRAIGHT METAL AWNING COLOR: DARK BRONZE
06	STANDING SEAM METAL ROOF PANEL BY BERRIDGE COLOR: DARK BRONZE
07	METAL FASCIA PANEL-FW-12, INSTALLED VERTICALLY BY BERRIDGE, COLOR-DARK BRONZE
08	PRE-FINISHED METAL COPING COLOR: SHASTA WHITE
09	KAWNEER TRI FAB 451 STOREFRONT SYSTEM WITH 1" INSULATED CLEAR GLASS U- VALUE (0.29) S.H.G.C (0.25) COLOR: EQUAL TO DARK BRONZE (SUBMIT SHOP DRAWINGS BEFORE FABRICATION)
10	INSULATED HOLLOW METAL DOOR PAINT: SHERWIN WILLIAMS, SW-7013 (IVORY LACE)
11	6" SQ. DOWNSPOUT (TYPICAL) PREFAB COLOR TO MATCH CLOSELY TO SW-7013
12	12"X8" OVERFLOW ROOF SCUPPER (TYPICAL) COLOR: SW7032 PAINTED TO MATCH STUCCO
13	EXTERIOR WALL SCONES (TYPICAL)
14	WALL PACK LIGHTS PER ELECTRICAL DRGS
15	CONTROL JOINTS FOR STUCCO
16	EIFS FINISHED FOAM SHAPED SILL
17	PAINTED ROOF LADDER- REFER DETAILS
18	ROOF LINE BEYOND (SHOWN DASHED)
19	FUTURE ROOF TOP UNIT LOCATIONS BEYOND
20	DRIVE THRU WINDOW



NORTH ELEVATION:

TOTAL FACADE AREA	= 4,181 SF
GLASS/DOOR AREA	= 186 SF
NET FACADE AREA	= 3,995 SF
BRICK AREA	= 640 SF (17%)
02 STUCCO	= 2404 SF (60%)
03 STUCCO	= 185 SF (4%)
STONE AREA	= 766 SF (19%)
TOTAL MASONRY AREA	= 3995 SF (100%)

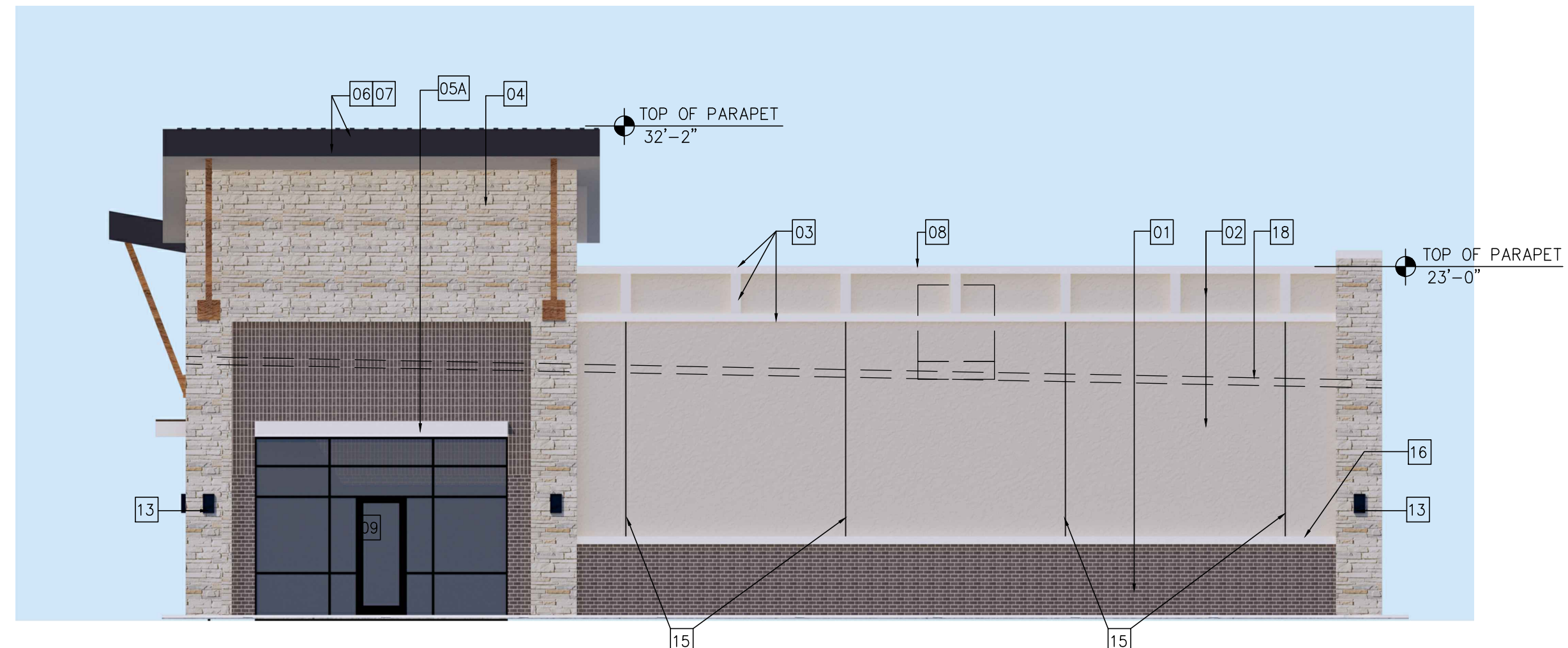
2 NORTH ELEVATION
 FP-1 SCALE: 1/8"=1'-0"



WEST ELEVATION:

TOTAL FACADE AREA	= 2,055 SF
GLASS/DOOR AREA	= 203 SF
NET FACADE AREA	= 1852 SF
BRICK AREA	= 424 SF (23%)
02 STUCCO	= 756 SF (41%)
03 STUCCO	= 59 SF (03%)
STONE AREA	= 613 SF (33%)
TOTAL MASONRY AREA	= 1852 SF (100%)

3 WEST ELEVATION
 FP-1 SCALE: 1/8"=1'-0"



EAST ELEVATION:

TOTAL FACADE AREA	= 2,055 SF
GLASS/DOOR AREA	= 196 SF
NET FACADE AREA	= 1859 SF
BRICK AREA	= 429 SF (23%)
02 STUCCO	= 758 SF (41%)
03 STUCCO	= 59 SF (03%)
STONE AREA	= 643 SF (32%)
TOTAL MASONRY AREA	= 1859 SF (100%)

4 EAST ELEVATION
 FP-1 SCALE: 1/8"=1'-0"

LAVON RETAIL PLAZA (FACADE ELEVATIONS)

LOT 3&4 BLOCK-A,
 SB LAVON ADDITION, CITY OF LAVON, TEXAS

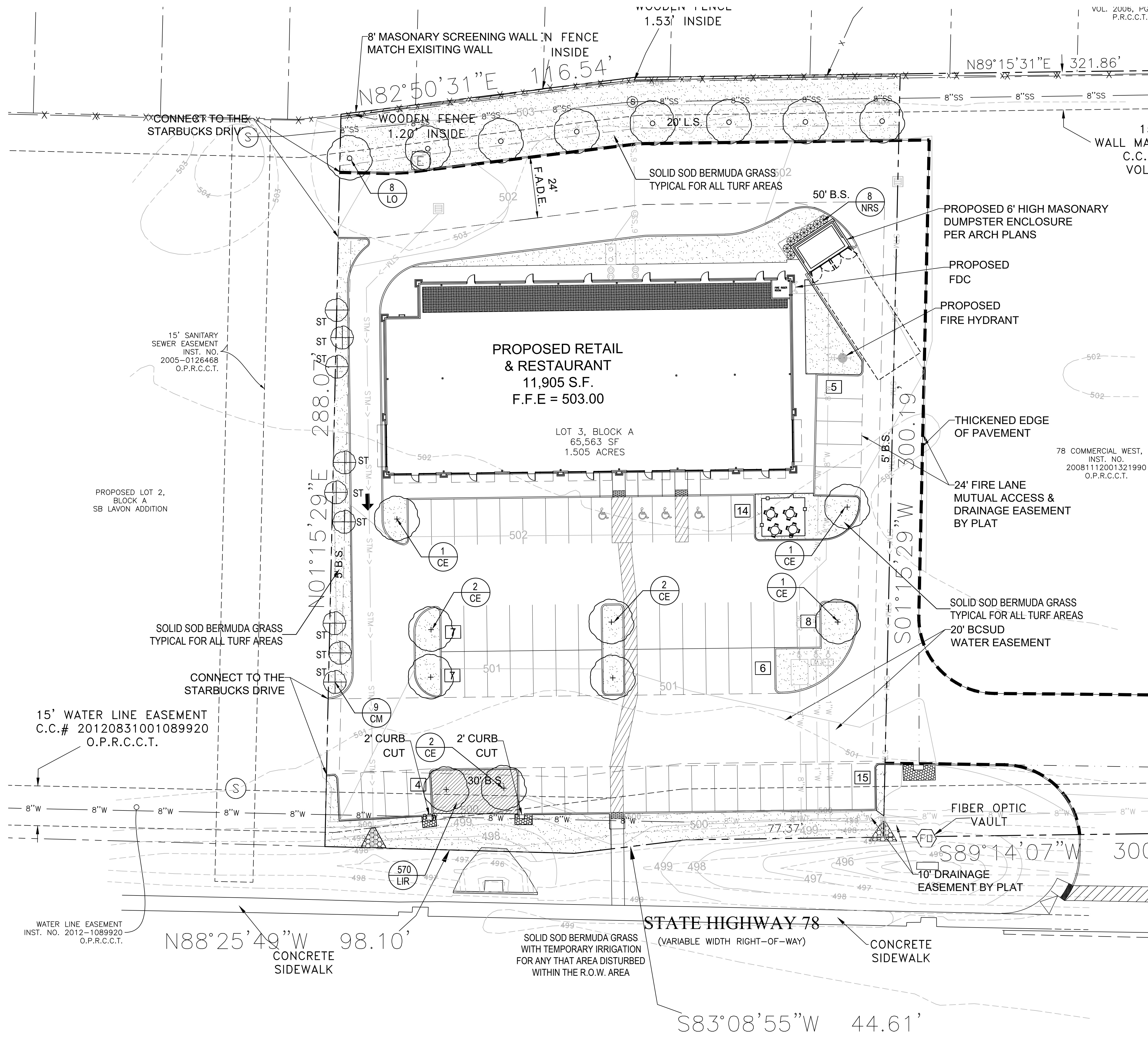
DATE OF PREPARATION : 02/28/2024

OWNER/DEVELOPER	#	REVISION DATE
78 COMMERCIAL WEST LP 1601 ELM STREET DALLAS, TEXAS 75201 CONTACT: LALIT SHARMA PH. NO. (469)714-5160 E-MAIL: lalit.sharma.pki@gmail.com	Δ	04/27/2024

REGISTERED ARCHITECT
 RASHMI CHANDEL
 STATE OF TEXAS
 02/28/2024

rashmi C Inc.
 ARCHITECTURE, PLANNING, INTERIORS
 4117 OLD PLEASANT RIDGE RD. ARLINGTON, TX-76016
 CONTACT: RASHMINDEE CHANDEL
 PH. NO. (817) 891-7918 EMAIL: rashmi@rashmic.com

SHEET NO.
 FP-1



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

TOTAL LANDSCAPE:
20% OF THE SITE TO BE LANDSCAPED.
AREA: 65,333.10 S.F.

REQUIRED	PROVIDED
13,066.62 S.F. (20%)	13,818.11 S.F. (21%)

STREET PERIMETER LANDSCAPE:
MINIMUM OF ONE (1) TREE, 3" CAL., PER 25' L.F. OF STREET FRONTAGE WITHIN 10' LANDSCAPE BUFFER
STREET:
S.H. 78:
220'

REQUIRED	PROVIDED
9 TREES	9 TREES (MOVED TO WEST PROPERTY LINE DUE TO WATER EASEMENTS IN STREET YARD)-LABELED 'ST'

PERIMETER LANDSCAPING:
MINIMUM ONE (1) CANOPY TREE PER 30 L.F. OF THE PERIMETER LENGTH AND 20' LANDSCAPE BUFFER.
NORTH:
220'

REQUIRED	PROVIDED
8 TREES	8 TREES

2% OF THE PARKING LOT TO BE LANDSCAPED.
AREA: 31,200.55 S.F.

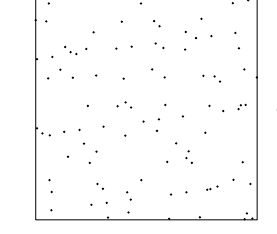
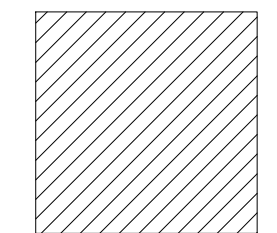
REQUIRED	PROVIDED
624.01 S.F. (2%)	2,657 S.F. (8.5%)

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	9	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	B&B or container, 12' ht., 4' spread, 5' clear straight trunk
LO	8	Live Oak	<i>Quercus virginiana</i>	3" cal.	container, 12' ht., 4' spread, 5' clear straight trunk
CM	9	Crepe Myrtle	<i>Lagerstroemia indica</i>	3" cal.	container, 10' ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
NRS	8	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 24" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LIR	570	Liriope Super Blue Bermudagrass 419	<i>Liriope muscari 'Super Blue'</i> <i>Cynodon dactylon 419</i>	4" pots	container full, well rooted, 12" o.c. solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

MATERIAL LEGEND

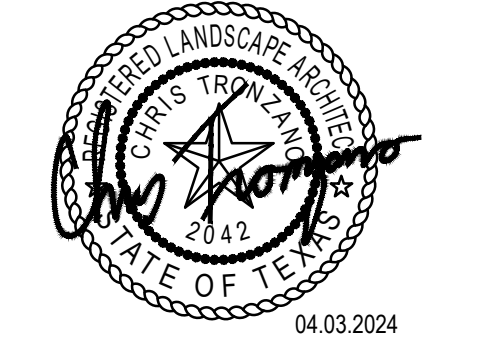


01 LANDSCAPE PLAN

SCALE 1"=20'-0"



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



RETAIL & RESTAURANT

STATE HWY 78
CITY OF LAVON, TEXAS

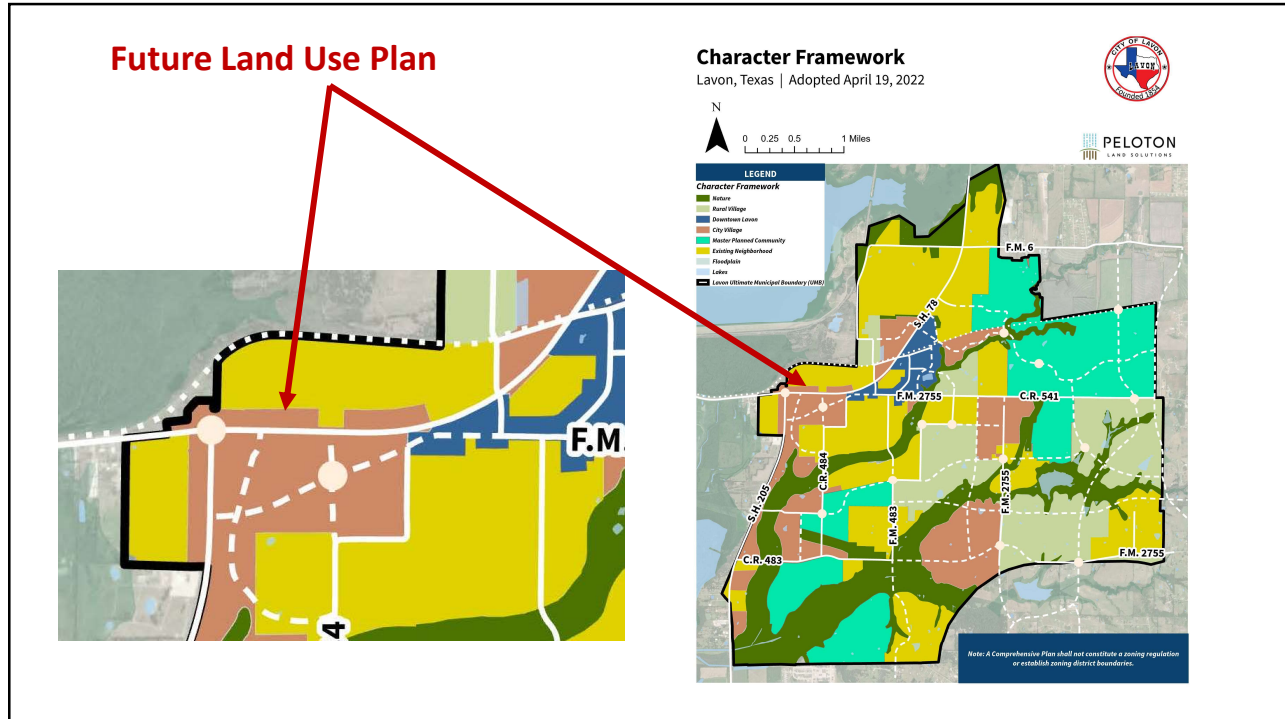
ISSUE:
FOR APPROVAL 02.28.2024
FOR APPROVAL 04.03.2024

DATE:
04.03.2024

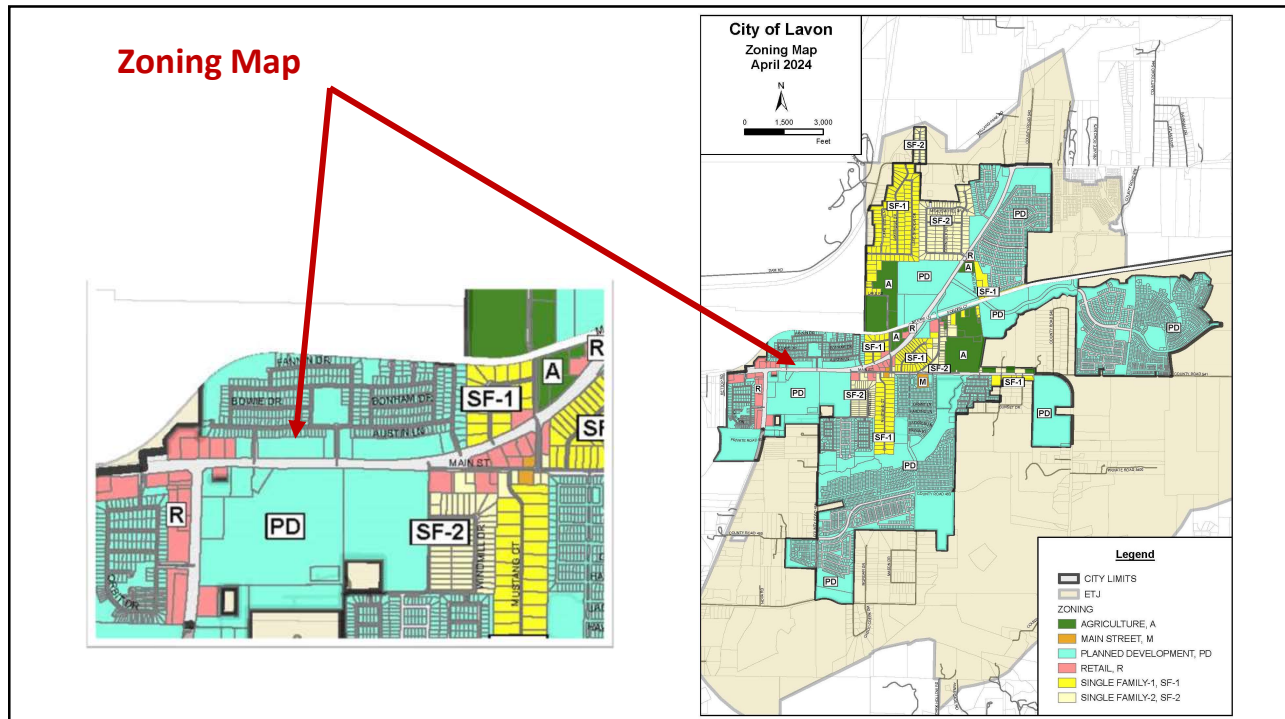
SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

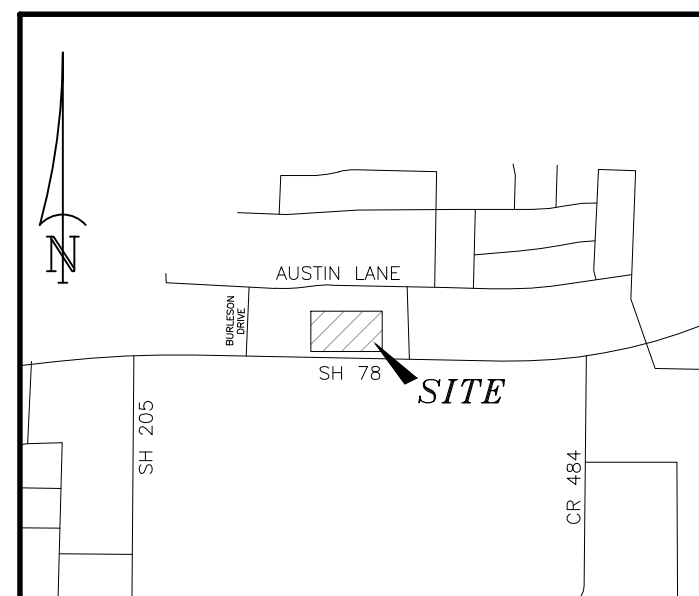
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4



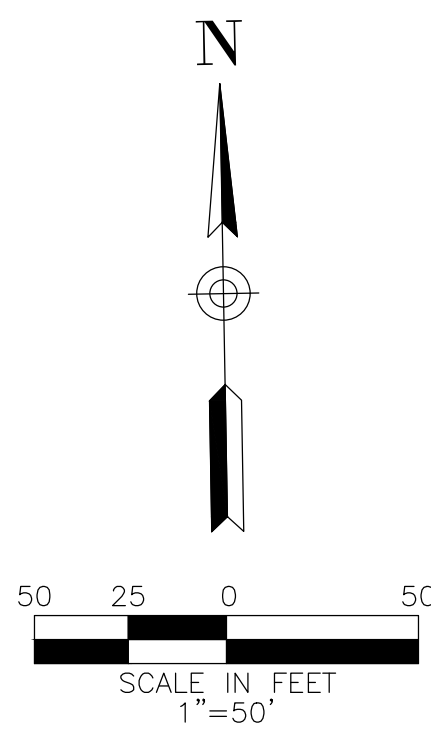
5



Lot Table:

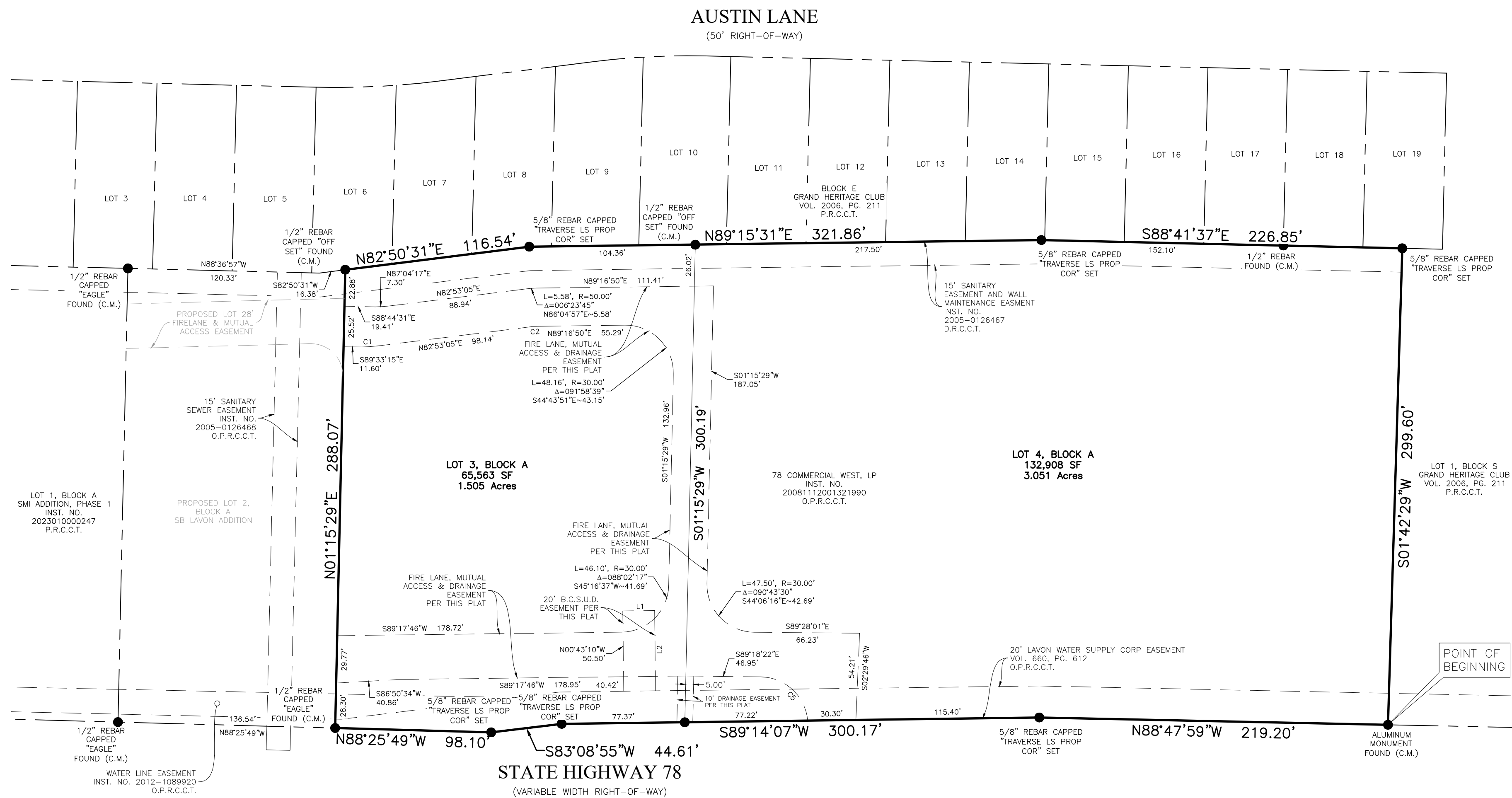
Lot 3:	Proposed Use: Commercial
	65,563 Square Feet
	1.505 Acres
Lot 4:	Proposed Use: Commercial
	132,908 Square Feet
	3.051 Acres

VICINITY MAP
NOT TO SCALE



GENERAL NOTES

- The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Aliterro RTK Network and adjusted to surface using a scale factor of 1.00015271.
- Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
- The purpose of this plat is to create two recorded lots out of a tract of land.



SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:
That I, David F. McCullah, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

David F. McCullah
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4023

DATE: _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2023

Notary Public in and for the State of Texas

FLOOD NOTES

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48085C0440J, dated June 02, 2009. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).

Line Data Table		
Line #	Distance	Bearing
L1	20.00'	N89°16'50"E
L2	50.50'	S00°43'10"E

Curve Data Table					
Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	9.31'	67.42'	007°54'48"	N86°29'21"E	9.30'
C2	3.35'	30.00'	006°23'45"	N86°04'57"E	3.35'

CERTIFICATE OF APPROVAL:
Bear Creek Special Utility District Approval Certificate

Recommended for Approval:

Bear Creek SUD, Lavon, Texas Date

Signature _____

Name / Title

OWNER/DEVELOPER
78 Commercial West, LP
1601 Elm Street
Dallas, Texas 75021

ENGINEER
Triangle Engineering
1782 W McDermott Drive
Allen, Texas 75013

STATE OF TEXAS
COUNTY OF COLLIN

WHEREAS 78 Commercial West, LP are the owners of a 4.556 acre tract of land within the William H. Moore Survey, Abstract Number 638, being a portion of a tract of land described to 78 Commercial West, LP by deed recorded in Instrument Number 2008112001321990, Official Public Records, Collin County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at an aluminum monument found for the southeast corner of the hereindescribed tract, same being the southwest corner of Lot 1, Block S of Grand Heritage Club, an addition to the City of Lavon as recorded in Volume 2006, Page 211, Plat Records, Collin County, Texas and lying on the north right-of-way line of State Highway 78 (Variable Width right-of-way);

THENCE North 88 degrees 47 minutes 59 seconds West, with the north line of said State Highway 78, a distance of 219.20 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE South 89 degrees 14 minutes 07 seconds West, with the north right-of-way line of said State Highway 78, a distance of 300.17 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE South 83 degrees 08 minutes 55 seconds West, with the north line of said State Highway 78, a distance of 44.61 feet to a 5/8 inch rebar capped "EAGLE" found for the southeast corner of Lot 2, Block A of SB Lavon Addition, an addition to the City of Lavon, as recorded in _____, Plat Records, Collin County, Texas;

THENCE North 88 degrees 25 minutes 49 seconds West, with the north line of said State Highway 78, a distance of 98.10 feet to a 1/2 inch rebar capped "EAGLE" found for the southeast corner of Lot 2, Block A of SB Lavon Addition, an addition to the City of Lavon, as recorded in _____, Plat Records, Collin County, Texas;

THENCE North 01 degrees 15 minutes 29 seconds East, departing the north right-of-way line of said State Highway 78, with the east line of said Lot 2, a distance of 288.07 feet to a point for corner, said point being the northeast corner of Lot 2, same being a point on the south line of Block E of Grand Heritage Club, an addition to the City of Lavon, as recorded in Volume 2006, Page 211, Plat Records, Collin County, Texas from which a 1/2 inch rebar found on a line is stamped "OFF SET";

THENCE North 82 degrees 50 minutes 31 seconds East, with the south line of said Block E, a distance of 116.54 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE North 89 degrees 15 minutes 31 seconds East, with the south line of said Block E, passing a 1/2 inch rebar capped "OFF SET" at a distance of 104.36 feet and continuing a total distance of 321.86 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE South 88 degrees 41 minutes 37 seconds East, with the south line of said Block E, passing a 1/2 inch rebar for the southeast corner of Lot 17, same being the southwest corner of Lot 18 at a distance of 152.10 feet and continuing a total distance of 226.85 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE South 01 degrees 42 minutes 29 seconds West, departing the south line of said Block E, with the west line of said Lot 1, a distance of 299.60 feet to THE POINT OF BEGINNING and containing 198,471 square feet or 4.556 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT 78 Commercial West, LP do hereby adopt this Final Plat, designating herein described property as SB Lavon Addition, an addition to the City of Lavon, Collin County, Texas, and does hereby dedicate in fee simple to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed in any Easements. Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Lavon's use thereof. The City of Lavon and public utility entities shall have the right to remove and keep removed improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Lavon and public utility entities shall at all times have full right for the purpose of construct, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time procuring the permission from anyone. This Final Plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Lavon, Texas.

Witness, my hand at _____, This ____ day of _____, 20____.

Signature - 78 Commercial West, LP

Printed Name

Title / Date

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20____.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL:
Recommended for Approval:

Chairman, Planning and Zoning Commission Date

Approved for Construction:

Mayor, City of Lavon Date

Accepted:

Mayor, City of Lavon Date

The undersigned, the City Secretary of the City of Lavon, Texas, hereby certifies that the foregoing Final Plat of SB Lavon, a subdivision or addition to the City of Lavon was submitted to the City Council on the ____ day of _____, 20____ and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat and said council further authorized the mayor to note the acceptance thereof by signing his or her name as hereinabove subscribed.

WITNESS my hand this ____ day of _____, 20____.

City Secretary, City of Lavon, Texas

**FINAL PLAT
LOT 3 AND 4, BLOCK A
SB LAVON ADDITION**

BEING 4.556 ACRES
SITUATED IN THE WILLIAM H. MOORE SURVEY
ABSTRACT NUMBER 638
CITY OF LAVON, COLLIN COUNTY, TEXAS
FEBRUARY 2024



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting
Date: 2024.02.23 Project No.: TR-89-24

1.5 ACRE COMMERCIAL DEVELOPMENT TRAFFIC IMPACT ANALYSIS

LJA Project No. NT4607-0022

Stephanie Taylor, PE, PTOE
LJA Engineering, Inc.



Stephanie Taylor

March 2024

1.5 ACRE COMMERCIAL DEVELOPMENT TRAFFIC IMPACT ANALYSIS

March 21, 2024

LJA Project No. NT4607-0022

EXECUTIVE SUMMARY

This report presents the summary of findings for the Traffic Impact Analysis (TIA) prepared by LJA Engineering, Inc. (LJA) for the proposed **1.5 Acre Commercial** development in Lavon, Texas.

This development will consist of a 11,905 square foot commercial site. Approximately 3,000 square feet of this site will be a fast food with a drive through, leaving the other 8,905 square feet to be general commercial. Construction for this development is expected to be completed in 2026. The study horizon for this TIA is year 2031. The objective of this study is to analyze the impacts of the traffic generated by the proposed development on the performance of the surrounding roadway network and to determine if mitigation measures to address any resulting deficiencies are recommended.

The study area for this TIA includes the street network located within a mile from the proposed development's access points and includes the following intersections:

1. SH 78 at Grand Heritage Boulevard
2. SH 78 at Burleson Drive

For this study, the AM and PM peak hours were analyzed for each of the following scenarios:

1. Existing conditions (2024)
2. Build-out year (2026) – background traffic growth rate only
3. Build-out year (2026) – all background traffic
4. Build-out year (2026) – combined traffic
5. Horizon year (2031) – background traffic growth rate only
6. Horizon year (2031) – all background traffic
7. Horizon year (2031) – combined traffic

Peak hour traffic and 24-hour link data were collected on December 6, 2022. Based on previous discussion with city staff, an average annual growth rate of 4 percent was used to project future traffic volumes. This growth rate was applied to the traffic counts to bring them to present day volumes. This growth rate was then applied to the existing traffic volumes in order to determine the future background traffic volumes for the years 2026 and 2031. In addition to the growth rate, development volumes from Bear Creek Phases 3-6, the Lavon Tract, Crestridge Meadows, Bear Creek Commercial South, ARKA Montessori, and future commercial development along the north side of SH 78 were added as background traffic.

The overall proposed development is expected to add 1,887 daily vehicle trips with 155 vehicle trips (81 in 74 out) during the AM peak hour and 158 vehicle trips (81 in 77 out) during the PM peak hour. These traffic volumes were distributed to the surrounding roadway network according to the existing travel patterns within the study area.

All analyses in this study were completed using standard traffic engineering practices based on the methodology outlined in the *Highway Capacity Manual - 6th Edition* (HCM6). Level of Service analyses for intersections were completed using Synchro 11 traffic analysis software.

With the continued growth of background traffic volumes, the existing roadway system and intersections are already at or over capacity during the peak hours. The addition of development-related traffic adds to the already high delay. Thus, several improvements are recommended to help accommodate the traffic growth:

- Eastbound and northbound protected-permitted overlap right-turns at Grand Heritage Boulevard and SH 78
- Eastbound right-turn lane on SH 78 at Grand Heritage Boulevard
- Eastbound right turn lane on SH 78 at Burleson Drive

The following is a list of improvements recommended as a result of the development:

- Westbound right turn lane on SH 78 at Drive A

April 17, 2024

Kim Dobbs
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Lavon Retail Plaza
Site Plan Submittal Review
LJA Job No. NTP-40467
MyGov Submittal: April 10, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request.

We have no further comments and recommend approval.

Please do not hesitate to let us know if you have any questions.

Thank you,



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

April 10, 2024

Kim Dobbs
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Lavon Retail Plaza
Site Plan Submittal Review
LJA Job No. NTP-40467
MyGov Submittal: April 5, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. We **recommend approval with the following conditions:**

PLANNING + DESIGN COMMENTS

1. **Repeat comment:** The parking rows located along SH 78 should be screened with low, evergreen shrubs that are a minimum height of two (2) feet at the time of planting and form a continuous hedge. Staff recommends revising the Landscape Plan to add shrubs accordingly.

THERE IS A 15' WATER EASEMENT ALONG SH78 AND ALSO THE DRAINAGE REQUIRES RIPRAP FLUMES WITH THE HEADWALL ALONG THE PARKING ROWS LOCATED ALONG SH 78. REFER GRADING AND DRAINAGE PLAN

2. The amount of provided landscape area listed in the Site Data summary table does not match the total landscape area listed in the Landscape Tabulations table. Please clarify which amount is correct and revise the data in the Site Plan and Landscape Plan tables to match accordingly.

LANDSCAPE TABULATIONS ARE UPDATED ON THE LANDSDCAPE PLAN

3. FYI: Certificates of Occupancy will be issued only for the uses proposed if adequate parking is provided per zoning requirements.

ACKNOWLEDGED

Please do not hesitate to let us know if you have any questions.

Thank you,



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

April 10, 2024

Kim Dobbs
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Lavon Retail Plaza
Site Plan Submittal Review
LJA Job No. NTP-40467
MyGov Submittal: April 5, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. We **recommend approval with the following conditions:**

PLANNING + DESIGN COMMENTS

1. **Repeat comment:** The parking rows located along SH 78 should be screened with low, evergreen shrubs that are a minimum height of two (2) feet at the time of planting and form a continuous hedge. Staff recommends revising the Landscape Plan to add shrubs accordingly. **The response letter states this comment was acknowledged and the Landscape Plan updated. However, evergreen shrubs are not shown along SH 78. Note that although trees cannot be planted closer than 8 feet to any public water line, wastewater line, fire protection connection, or drainage line, shrubs can be planted in close proximity.**
2. The amount of provided landscape area listed in the Site Data summary table does not match the total landscape area listed in the Landscape Tabulations table. Please clarify which amount is correct and revise the data in the Site Plan and Landscape Plan tables to match accordingly.
3. FYI: Certificates of Occupancy will be issued only for the uses proposed if adequate parking is provided per zoning requirements.

Please do not hesitate to let us know if you have any questions.

Thank you,



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

March 14, 2024

Kim Dobbs
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Lavon Retail Plaza
Site Plan Review
LJA Job No. NTP-40467
MyGov Submittal: March 4, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. Provided below are comments relating to planning and design. Please do not hesitate to let me know if you have any questions.

PLANNING + DESIGN COMMENTS

1. Revise the Site Plan to call out height and materials of dumpster enclosure. THE DUMPSTER ENCLOSURE HEIGHT AND MATERIALS HAS BEEN CALLED OUT IN THE SITE PLAN)
2. The governing PD requires exterior walls to consist of at least 95% masonry material. Please clarify how the proposed design complies with this standard. ACKNOWLEDGE AND UPDATED OUR BUILDING ELEVATION TO MAKE 100% MASONARY
3. Revise the Site Plan to add the percent lot coverage and percentage of lot covered by impervious surfaces to the Site Data Summary table. ADDED ON THE SITE DATA SUMMARY TABLE.
4. The governing PD requires a minimum rear yard setback of 50 feet. Revise the Site Plan to correct the rear yard setback label and line accordingly. ACKNOWLEDGED AND UPDATED ON BOTH THE SITE PLAN AND LANDSCAPE PLAN.
5. The parking rows located along SH 78 should be screened with low, evergreen shrubs that are a minimum height of two (2) feet at the time of planting and form a continuous hedge. Staff recommends revising the Landscape Plan to add shrubs accordingly. ACKNOWLEDGED AND UPDATED ON BOTH LANDSCAPE PLAN.
6. Landscape islands should be provided at a rate of one canopy tree for every seven parking spaces. In addition, every parking space should be located within a maximum 65 feet from a tree. Staff recommends revising the plans accordingly. THE CLIENT WANTS TO HAVE THE NUMBER OF PARKING SAME AS THE NUMBER OF PARKING IS VERY IMPORTANT IN RETAIL & RESTAURANT. WE HAVE MAINTAINED THE REQUIRED LANDSCAPE FOR OUR PROPOSED DEVELOPMENT.
7. Trees cannot be planted closer than 8 feet to any public water line, wastewater line, fire protection connection, or drainage line. Revise the Landscape Plan to adjust plantings accordingly. ACKNOWLEDGED AND REVISED ON THE LANDSCAPE PLAN
8. The dumpster enclosure orientation must provide a minimum of 50 feet of unobstructed approach (i.e. backing distance), as measured from the front gates of the enclosure, entirely within the subject property. Revise the Site Plan to dimension the required backing distance accordingly. ACKNOWLEDGED AND UPDATED ON THE SITE PLAN.
9. Revise the Site Plan to show the internal separation of the uses within the proposed building that correspond with the provided parking tabulations.

THE INTERNAL SEPARATION WILL BE DETERMINED LATER DEPENDING ON THE FUTURE TENANT BUT THE SQUARE FOOT SHOWN ON THE SITE PLAN TABLE BETWEEN RETAIL & RESTAURANT WILL BE CONSIDERED.

10. Please consider providing a solid cover and fans for the outdoor dining/seating area for usability in the Texas heat and other weather elements. ACKNOWLEDGED AND WILL BE PROVIDED.

11. The subject property is unplatted. A plat will be required prior to issuance of a building permit or commencement of development. PLAT IS ATTACHED WITH THE CIVIL SET.

Comments prepared and compiled by:



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

Quality check by:



Abra R. Nusser, AICP
Director of Placemaking + Resilience at LJA
Email: anusser@lja.com
Phone: 972.339.8186
On behalf of the City of Lavon, TX

March 14, 2024

Kim Dobbs
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Lavon Retail Plaza
Site Plan Review
LJA Job No. NTP-40467
MyGov Submittal: March 4, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. Provided below are comments relating to planning and design. Please do not hesitate to let me know if you have any questions.

PLANNING + DESIGN COMMENTS

1. Revise the Site Plan to call out height and materials of dumpster enclosure.
2. The governing PD requires exterior walls to consist of at least 95% masonry material. Please clarify how the proposed design complies with this standard.
3. Revise the Site Plan to add the percent lot coverage and percentage of lot covered by impervious surfaces to the Site Data Summary table.
4. The governing PD requires a minimum rear yard setback of 50 feet. Revise the Site Plan to correct the rear yard setback label and line accordingly.
5. The parking rows located along SH 78 should be screened with low, evergreen shrubs that are a minimum height of two (2) feet at the time of planting and form a continuous hedge. Staff recommends revising the Landscape Plan to add shrubs accordingly.
6. Landscape islands should be provided at a rate of one canopy tree for every seven parking spaces. In addition, every parking space should be located within a maximum 65 feet from a tree. Staff recommends revising the plans accordingly.
7. Trees cannot be planted closer than 8 feet to any public water line, wastewater line, fire protection connection, or drainage line. Revise the Landscape Plan to adjust plantings accordingly.
8. The dumpster enclosure orientation must provide a minimum of 50 feet of unobstructed approach (i.e. backing distance), as measured from the front gates of the enclosure, entirely within the subject property. Revise the Site Plan to dimension the required backing distance accordingly.
9. Revise the Site Plan to show the internal separation of the uses within the proposed building that correspond with the provided parking tabulations.

10. Please consider providing a solid cover and fans for the outdoor dining/seating area for usability in the Texas heat and other weather elements.
11. The subject property is unplatted. A plat will be required prior to issuance of a building permit or commencement of development.

Comments prepared and compiled by:



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

Quality check by:



Abra R. Nusser, AICP
Director of Placemaking + Resilience at LJA
Email: anusser@lja.com
Phone: 972.339.8186
On behalf of the City of Lavon, TX



CITY OF LAVON

Agenda Brief

MEETING: May 7, 2024

ITEM: 7 – B

Item:

Discussion and action regarding the site plan and landscape plan of the Daycare northeast of the intersection of SH 78 and Grand Heritage Blvd. and northwest of the intersection of SH 78 and Burnett Drive, Block A, Lot 5, 78 Commercial East Addition, Phase 2 on 1.7 acres of land situated in the William H. Moore Survey, Abstract No. 638, Lavon, Collin County, TX (CCAD Property ID 2614649).

Application Information

Owner(s): 78 Commercial East, LP

Applicant: Kiew Kam, Triangle Engineering LLC

Location: Northwest of the intersection of SH 78 and Burnett Drive

Description: Block A, Lot 5, 78 Commercial East Addition, Phase 2, 1.7 acres
William H. Moore Survey, Abstract No. 638
City of Lavon, Collin County, TX (CCAD Property ID 2614649)

Current Zoning: Planned Development

Request: Site Plan and Landscape Plan

Request Details

The applicant is seeking approval of the site plan and landscape plan of a Daycare that is approximately 12,410 square feet in area.

The site will be developed in accordance with the Grand Heritage Planned Development District regulations, Ordinance No. 2004-09-05, as amended.

Code Excerpt:

**LAVON CODE OF ORDINANCES – ZONING ORDINANCE
DIVISION 7 – SITE PLAN**

9.03.151 PURPOSE

The purpose of this Section is to regulate the manner in which land in the City of Lavon

is used and developed, minimize adverse effects on surrounding property or the general public, protection from fire, protection of adjacent uses from obstructions to light, air and visibility plus provision of adequate storm water drainage facilities, transportation, water and sanitary sewage facilities.

9.03.154 CRITERIA FOR APPROVAL

- a) All applicable City of Lavon Comprehensive Master Plan and Ordinance requirements shall have been met as a condition of site plan approval.
- b) All applicable Site Plan requirements of this Subtitle shall have been met as a condition of site plan approval.
- c) The adequate capacity of public or private facilities for water, sewer and access to, from and through the development shall be met as a condition of site plan approval. City reserves the right to deny approval of a site plan based upon insufficient capacity of any public facility or facilities.

Zoning: The property is zoned Planned Development (PD). The proposed development of the property is permitted. The site plan and landscape plan are prepared in conformance with the approved zoning requirements.

Platting: The final plat of the property is pending.

Access: Access is provided on SH 78 and via cross access easements across one properties to Burnett Drive.

Utilities: The site will be served water by a Special Utility District and sanitary sewer by the City of Lavon.

Screening and Landscaping: Screening is provided in accordance with the zoning requirements.

Planning and Zoning Commission Report:

MOTION: RECOMMEND APPROVAL OF THE SITE PLAN AND LANDSCAPE PLAN OF THE DAYCARE PROJECT NORTHEAST OF THE INTERSECTION OF SH 78 AND GRAND HERITAGE BLVD. AND NORTHWEST OF THE INTERSECTION OF SH 78 AND BURNETT DRIVE, BLOCK A, LOT 5, 78 COMMERCIAL EAST ADDITION ON 1.7 ACRES OF LAND SITUATED IN THE WILLIAM H. MOORE SURVEY, ABSTRACT NO. 638, LAVON, COLLIN COUNTY, TX, SUBJECT TO CITY ENGINEER FINAL REVIEW.

MOTION MADE: NABORS
 SECONDED: COX
 APPROVED: UNANIMOUS

Staff Notes:

The proposed applications were reviewed by the planning consultant and staff development review committee (DRC). The site plan consideration does not include signage.

Approval of the site plan and landscape plan are recommended.

Attachments: 1. Application and Site Plan; Building Elevations

2. Landscape Plan
3. Location exhibits
4. Planning review comments



CITY OF LAVON SITE PLAN APPLICATION

P.O. Box 340 120 School Rd., Lavon, TX 75166
Office (972) 843-4220 Fax (972) 843-0397

APPLICATION INFORMATION

Name: 78 COMMERCIAL EAST, LP
Address: 2101 CEDAR SPRINGS RD. SUITE 600 DALLAS TX 75201
Telephone Number: 214.880.8434
Email Address: MJOHNSON@PETROHUNT.COM

LEGAL DESCRIPTION: (Lot, Block, Subdivision, or CAD Tract No, Survey, Abstract, Address)

LOT 4, BLOCK A 78 COMMERCIAL EAST

SUBDIVISION NAME: (approved plat is prerequisite) _____

ZONING: PD-1 GRAND HERITAGE

LEGAL OWNER OF PROPERTY INVOLVED: 78 COMMERCIAL EAST, LP

If Applicant is NOT the Owner, Relationship to Owner: CIVIL CONSULTANT

I AM THE OWNER OR AGENT AUTHORIZED TO MAKE THE ABOVE STATEMENTS AND REPRESENTATIONS HEREIN ON BEHALF OF THE OWNER.

Signature: KIEW KAM 03-12-2024
Owner / Authorized Agent Date

Printed Name: KIEW KAM
Owner / Authorized Agent

Title: PROJECT MANAGER

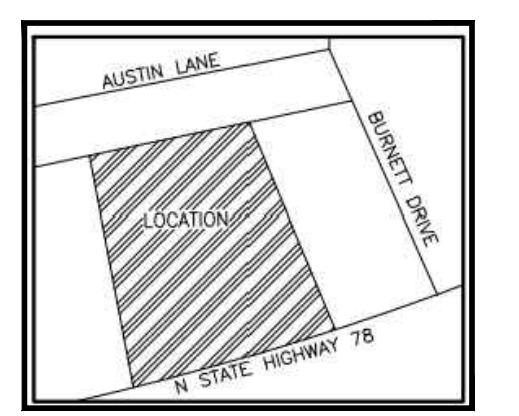
Company: TRIANGLE ENGINEERING LLC

City Office Use Only:

	Amount:	Check #	or Cash _____
Fee paid (due at time of application)			
Cost plus admin fee - \$500 deposit			
Required items submitted			
Development Engineer Comments			
Development Review Committee Comments			
Comments Addressed by Applicant			
Planning & Zoning Action			
City Council Action			



Scale: 1" = 30' Feet



VICINITY MAP
N.T.S.

SITE GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRESENTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

SITE LEGEND

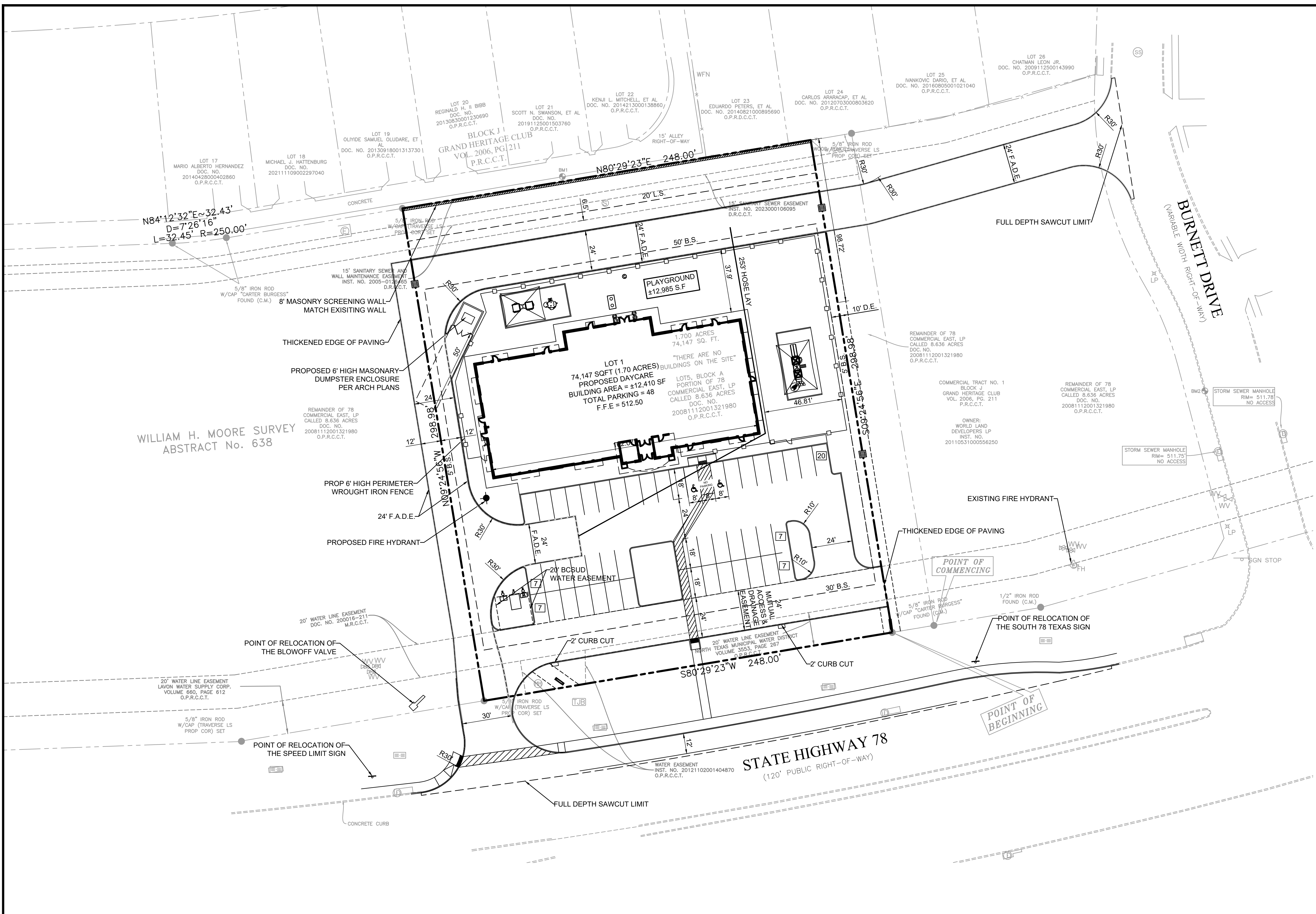
CONCRETE CURB	
SAW-CUT LINE	
FENCE	
FIRE LANE	
STRIPING	
PARKING SPACES	
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	
HANDICAP SIGN	
RAMP	
BOLLARD	
FIRE HYDRANT	
DUMPSTER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	
DOMESTIC WATER METER	
IRRIGATION METER	

EASEMENT/SETBACK LEGEND

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
DRAINAGE, ACCESS & UTILITY EASEMENT	D.A.U.E.
DRAINAGE EASEMENT	D.E.
FIRE ACCESS & DRAINAGE EASEMENT	F.A.D.E.

SITE DATA SUMMARY TABLE

SITE ACREAGE:	1.70 ACRES (74,142 SQFT)
ZONING:	PD-1 GRAND HERITAGE
PROPOSED USE:	DAYCARE
BUILDING AREA:	12,410 SQFT
BUILDING COVERAGE:	16.73%
REGULAR PARKING REQUIRED:	25 SPACES
REGULAR PARKING PROVIDED:	46 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	48 SPACES



NO.	DATE	DESCRIPTION	BY
1	03-22-24	1st SITE PLAN SUBMITTAL	KK
2	04-05-24	2nd SITE PLAN SUBMITTAL	KK
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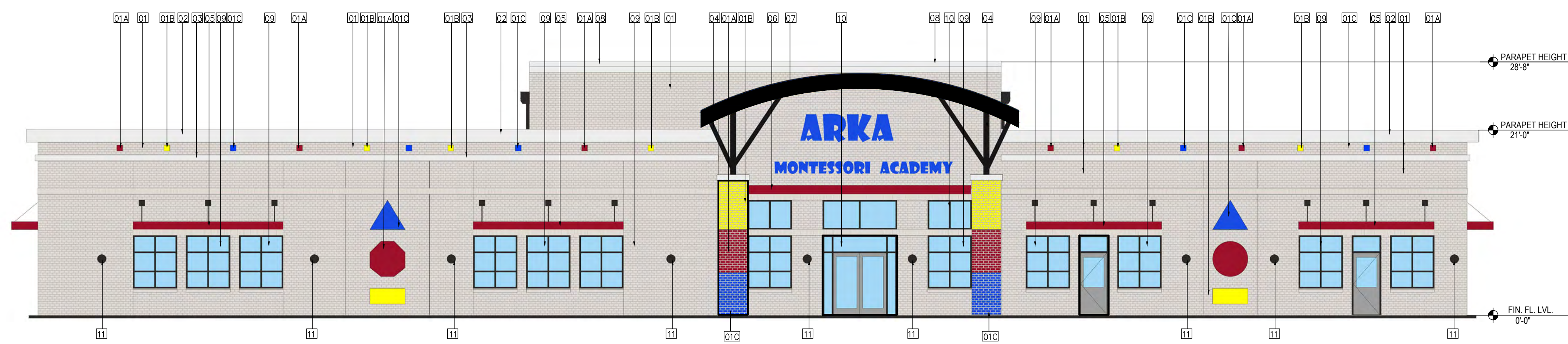
SITE PLAN
DAYCARE
78 COMMERCIAL EAST
CITY OF LAVON
TEXAS
WILLIAM H. MOORE SURVEY, ABSTRACT NO. 638

TRIANGLE ENGINEERING LLC
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

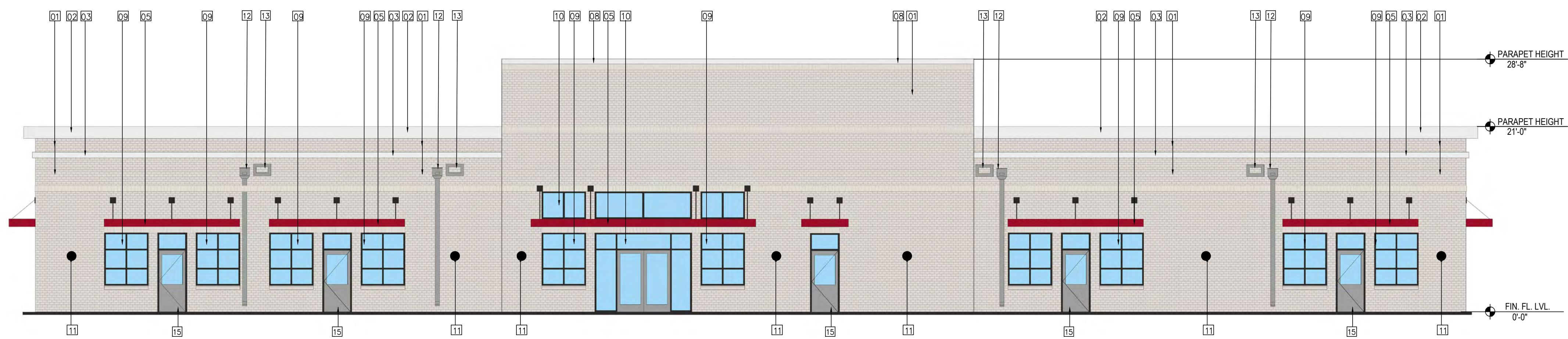
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KK	RA	11-02-23	SCALE BAR	100-23	C-3.0

TX. P.E. FIRM #11525



SOUTH ELEVATION:
 TOTAL FACADE AREA = 3,809 SF
 GLASS/DOOR AREA = 555 SF
 NET FACADE AREA = 3,254 SF
 BRICK AREA = 2,832 SF (87%)
 COLORED BRICK = 156 SF (5%)
 O2 STUCCO = 266 SF (8%)
 TOTAL MASONRY AREA = 3,254 SF (100%)

1 SOUTH ELEVATION
 FP-1 SCALE: 1/8"=1'-0"



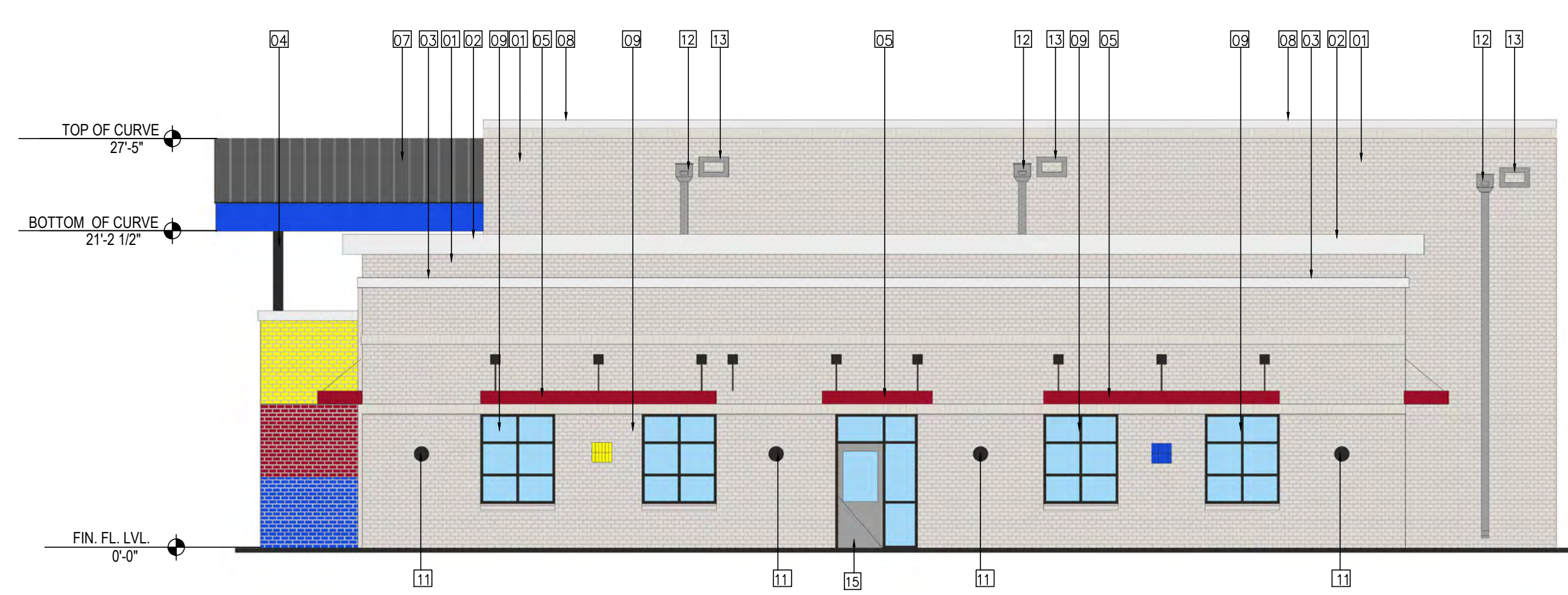
NORTH ELEVATION:
 TOTAL FACADE AREA = 3,864 SF
 GLASS/DOOR AREA = 633 SF
 NET FACADE AREA = 3,231 SF
 BRICK AREA = 3,024 SF (93%)
 O2 STUCCO = 207 SF (7%)
 TOTAL MASONRY AREA = 3,231 SF (100%)

2 NORTH ELEVATION
 FP-1 SCALE: 1/8"=1'-0"



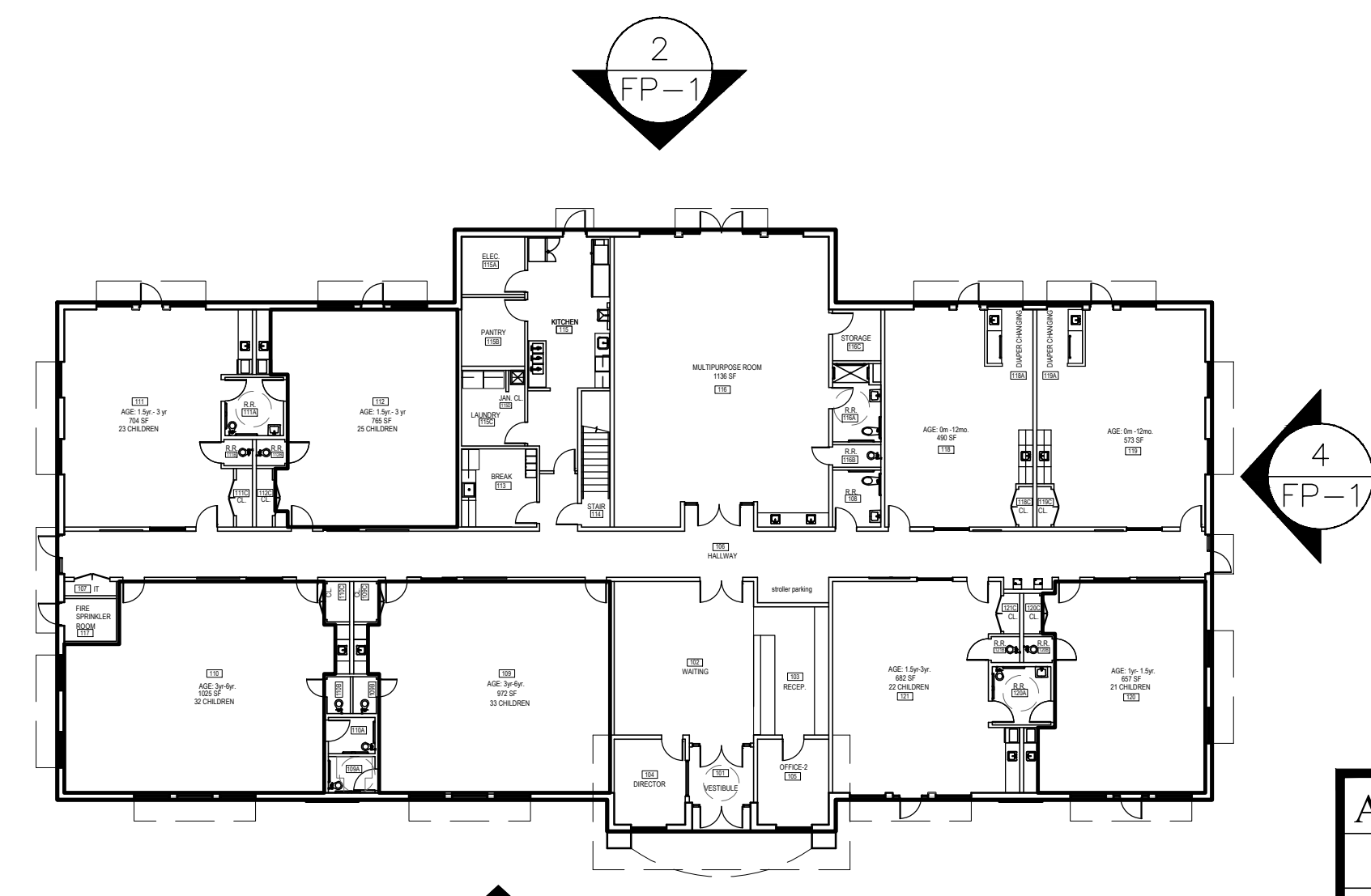
WEST ELEVATION:
 TOTAL FACADE AREA = 2,467 SF
 GLASS/DOOR AREA = 205 SF
 NET FACADE AREA = 2,262 SF
 BRICK AREA = 2,016 SF (89%)
 COLORED BRICK AREA = 100 SF (4%)
 O2 STUCCO = 146 SF (7%)
 TOTAL MASONRY AREA = 2,262 SF (100%)

3 WEST ELEVATION
 FP-1 SCALE: 1/8"=1'-0"



EAST ELEVATION:
 TOTAL FACADE AREA = 2,464 SF
 GLASS/DOOR AREA = 175 SF
 NET FACADE AREA = 2,289 SF
 BRICK AREA = 2,043 SF (89%)
 COLORED BRICK AREA = 100 SF (4%)
 O2 STUCCO = 146 SF (7%)
 TOTAL MASONRY AREA = 2,289 SF (100%)

4 EAST ELEVATION
 FP-1 SCALE: 1/8"=1'-0"



5 KEY PLAN
 FP-1 SCALE: NOT TO SCALE

ELEVATION NOTES	
01	BRICK VENEER-1 BY ACME BRICK SIZE: KING SIZE BRICK COLOR: GLACIER WHITE SMOOTH FINISH
01A	CERAMIC GLAZED BRICK BY ENGLIN BUTLER COLOR: CLASSIC RED #8800
01B	CERAMIC GLAZED BRICK BY ENGLIN BUTLER COLOR: LEMON TWIST #2300A
01C	CERAMIC GLAZED BRICK BY ENGLIN BUTLER COLOR: DYNAMIC BLUE #4580
02	STUCCO FASCIA & SOFFIT COLOR: SHERWIN WILLIAMS 7005 PURE WHITE
03	ACRYLIC STUCCO FINISH OVER EIFS FOAM SHAPE IMPLANT OVER BRICK VENEER COLOR: SHERWIN WILLIAMS 7005 PURE WHITE
04	PAINTED DECORATIVE METAL BRACKETS COLOR: SHERWIN WILLIAMS 6258 TRICORN BLACK
05	ALUMINUM AWNING WITH HANG RODS BY- VICTORY AWNINGS OR EQUAL COLOR: MBCI, SIGNATURE 300, BRITE RED
06	ALUMINUM CANTILEVER AWNING BY- ARCHITECTURAL FABRICATION. SUBMIT SHOP DRAWINGS COLOR: MBCI, SIGNATURE 300, BRITE RED
07	CURVED STANDING SEAM ROOF PANELS BY BERRIDGE- SUBMIT SHOP DRGS COLOR: AWARD BLUE
08	PRE FINISHED METAL PARAPET CAP FLASHING BY MBCI SIGNATURE 200 OR EQUAL COLOR: POLAR WHITE
09	VINYL FRAME WINDOWS BY ELEVATE OR EQUAL DOUBLE PANE, LOW-E GLASS COLOR: BLACK FROM OUTSIDE/ WHITE INSIDE
10	ALUMINUM STOREFRONT BY KAWNEER-TRIFAB-451 OR EQUAL COLOR: BLACK #29
11	EXTERIOR DECORATIVE WALL SCNCE - REFER ELECTRICAL

ARKA MONTESSORI ACADEMY (FACADE ELEVATIONS)

N STATE HWY- 78 & BURNETT DRIVE
 CITY OF LAVON, COLLIN COUNTY, TEXAS

DATE OF PREPARATION : 03/08/2024

OWNER/ DEVELOPER	#	REVISION DATE
619 LOHR BVALLEY ROAD IRVING, TEXAS 75063 PH. NO. (972) 971-8857 E-MAIL: ravindra.maddi@gmail.com	01	CITY COMMENTS

rashmi C Inc.
 ARCHITECTURE. PLANNING. INTERIORS
 4117 OLD PLEASANT RIDGE RD. ARLINGTON, TX-76016
 CONTACT: RASHMINDER CHANDEL
 PH. NO. (817) 891-7918 EMAIL: rashmi@rashmic.com

REGISTERED ARCHITECT
 STATE OF TEXAS
 03/08/2024

SHEET NO.
 FP-1

April 16, 2024

Kim Dobbs
City Manager
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare
Site Plan Review
LJA Job No. NTP-40467
MyGov Submittal: April 11, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request.

We have no further comments and recommend approval.

Please do not hesitate to let us know if you have any questions.

Thank you,



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

April 9, 2024

Kim Dobbs
City Manager
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare
Site Plan Review
LJA Job No. NTP-40467
MyGov Submittal: April 5, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. We **recommend approval with the following condition:**

1. Repeat comment: The proposed Preliminary Plat labels this lot as Lot 5. Revise the Site Plan to label this lot consistently with the proposed Preliminary Plat.

**SITE PLAN IS REVISED ON THE
TITLE BLOCK OF THE SITE PLAN**

Please do not hesitate to let us know if you have any questions.

Thank you,



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

April 9, 2024

Kim Dobbs
City Manager
City of Lavon, TX
Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare
Site Plan Review
LJA Job No. NTP-40467
MyGov Submittal: April 5, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. We **recommend approval with the following condition:**

1. Repeat comment: The proposed Preliminary Plat labels this lot as Lot 5. Revise the Site Plan to label this lot consistently with the proposed Preliminary Plat.

Please do not hesitate to let us know if you have any questions.

Thank you,



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

March 28, 2024

Kim Dobbs
 City of Lavon, TX
 Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare
 Site Plan Review
 LJA Job No. NTP-40467
 MyGov Submittal: March 22, 2024

LJA Engineering, Inc. has reviewed the submittal referenced above per your request. Provided below are comments relating to planning and design. Please do not hesitate to let us know if you have any questions.

PLANNING + DESIGN COMMENTS

1. The minimum rear yard setback, per the governing PD, is 50 feet. Revise the Site Plan and Landscape Plan to correct the rear yard setback label and line accordingly.

UPDATED THE SETBACK ON THE SITE PLAN AND LANDSCAPE PLAN

Section 3.6.2.4 Setback Standards. All measurements are in feet.

Minimum Setback and Separation Standards for Structures in Commercial Planning Areas	
Standard	Dimension (Feet)
Front Yard:	
Abutting SH 78 or SH 205	30
Not abutting S.H. 78 or S.H. 205	20
Rear Yard:	
Adjacent to a Residential Planning Area	50
Adjacent to or in a Commercial Planning Area	10
Side Yard:	
Abutting SH 78 or SH 205	30
Corner Lots	30
Adjacent to a Residential Planning Area	25
Adjacent to or in a Commercial Planning Area	5

2. The subject property is unplatted. A plat will be required prior to issuance of a building permit or commencement of development. FINAL PLAT IS ATTACHED WITH THE CIVIL SET
3. The proposed Preliminary Plat labels this lot as Lot 5. Revise the Site Plan to label this lot consistently with the proposed Preliminary Plat. ACKNOWLEDGED AND UPDATED IN THE PLANS
4. The minimum off-street parking requirement for the proposed use, per the governing PD, is 1:500 square feet. Therefore, the minimum number of parking spaces required is 25. Revise the site data summary table to list the "regular parking required" as 25 spaces. ACKNOWLEDGED AND UPDATED IN THE SITE PLAN TABLE
5. Trees cannot be planted closer than 8 feet to any public water line, wastewater line, fire protection connection, or drainage line. Revise the Landscape Plan to adjust plantings accordingly or confirm that the requirement has been met. ACKNOWLEDGED AND UPDATED IN THE LANDSCAPE PLAN

6. The governing PD requires the dumpster enclosure to be screened with solid masonry walls. Revise the Site Plan to add the dumpster enclosure screening material and height to the dumpster enclosure label. **ACKNOWLEDGED AND UPDATED IN THE SITE PLAN**
7. The governing PD requires exterior walls to be a minimum 95% masonry. Revise the east and west elevations to meet this requirement. **ACKNOWLEDGED. THE CURRENT FACADE ELEVATIONS IS 100% MASONRY MATERIAL**
8. Staff recommends providing brick or stone, that is a natural color, to the south elevation (at minimum) to provide compatibility and visual interest. **THE OWNER WANTS TO KEEP THE COST IN CONTROL SO WE HAVE USED LIGHT COLOR BRICK AS A MAJORITY OF THE BUILDING WITH GLAZED ACCENT BLOCK IN THREE PRIMARY COLORS TO CREATE INTEREST**
9. Staff recommends revising the Site Plan title block from "S. State Hwy 78" to "78 Commercial East" to be consistent with the title of the proposed Preliminary Plat. **ACKNOWLEDGED AND UPDATED IN THE TITLE BLOCK**
10. Revise the Site Plan to add the F.A.D.E. easement to the Easement/Setback Legend. **ACKNOWLEDGED AND UPDATED IN THE SITE PLAN EASEMENT LEGEND**
11. Upon resubmittal, please provide a comment response letter indicating acknowledgement or clarification of how each comment has been addressed. **ACKNOWLEDGED AND RESPONSE IS PROVIDED IN GREEN BLOCK.**

Comments prepared and compiled by:



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

Quality check by:



Abra R. Nusser, AICP
Director of Placemaking + Resilience at LJA
Email: anusser@lja.com
Phone: 972.339.8186
On behalf of the City of Lavon, TX

March 28, 2024

Kim Dobbs
 City of Lavon, TX
 Via Email Delivery to kdobbs@lavontx.gov

Re: Highway 78 Commercial East Daycare
 Site Plan Review
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1. The minimum rear yard setback, per the governing PD, is 50 feet. Revise the Site Plan and Landscape Plan to correct the rear yard setback label and line accordingly.

Section 3.6.2.4 Setback Standards. All measurements are in feet.

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Front Yard:	
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Adjacent to a Residential Planning Area	50
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Side Yard:	
Abutting SH 78 or SH 205	30
Corner Lots	30
Adjacent to a Residential Planning Area	25
Adjacent to or in a Commercial Planning Area	5

2. The subject property is unplatted. A plat will be required prior to issuance of a building permit or commencement of development.
3. The proposed Preliminary Plat labels this lot as Lot 5. Revise the Site Plan to label this lot consistently with the proposed Preliminary Plat.
4. The minimum off-street parking requirement for the proposed use, per the governing PD, is 1:500 square feet. Therefore, the minimum number of parking spaces required is 25. Revise the site data summary table to list the “regular parking required” as 25 spaces.
5. Trees cannot be planted closer than 8 feet to any public water line, wastewater line, fire protection connection, or drainage line. Revise the Landscape Plan to adjust plantings accordingly or confirm that the requirement has been met.

6. The governing PD requires the dumpster enclosure to be screened with solid masonry walls. Revise the Site Plan to add the dumpster enclosure screening material and height to the dumpster enclosure label.
7. The governing PD requires exterior walls to be a minimum 95% masonry. Revise the east and west elevations to meet this requirement.
8. Staff recommends providing brick or stone, that is a natural color, to the south elevation (at minimum) to provide compatibility and visual interest.
9. Staff recommends revising the Site Plan title block from "S. State Hwy 78" to "78 Commercial East" to be consistent with the title of the proposed Preliminary Plat.
10. Revise the Site Plan to add the F.A.D.E. easement to the Easement/Setback Legend.
11. Upon resubmittal, please provide a comment response letter indicating acknowledgement or clarification of how each comment has been addressed.

Comments prepared and compiled by:



Tiffany McLeod, AICP, EIT
Project Manager, Placemaking + Resilience at LJA
Email: tmcleod@lja.com
Phone: 469.348.6571
On behalf of the City of Lavon, TX

Quality check by:



Abra R. Nusser, AICP
Director of Placemaking + Resilience at LJA
Email: anusser@lja.com
Phone: 972.339.8186
On behalf of the City of Lavon, TX



CITY OF LAVON

Agenda Brief

MEETING: May 7, 2024

ITEM: 7 - C

Item:

Discussion and action regarding Ordinance No. 2024-05-01 amending Chapter 8 “Offenses and Additional Provisions”, Article 8.03 “Noise”, Section 8.03.001 “Definitions” of the Code of Ordinances of the City of Lavon to amend the scope and parameters of the City’s noise regulations.

Background:

As projects continue to develop outside the corporate limits, the staff reviewed the ramifications of including the immediate area in the enforcement area for noise complaints and determined it would be beneficial for Lavon residents.

The noise regulations would not change in the additional territory. Pursuant to the State law, the same noise regulations apply in the City as outside the City. The proposed expansion would enable the Lavon Police to respond to noise complaints in the immediate area rather than the County.

Code Excerpt:

**TEXAS LOCAL GOVERNMENT CODE
CHAPTER 217 MUNICIPAL REGULATION OF NUISANCES AND DISORDERLY
CONDUCT
SUBCHAPTER C. REGULATION BY HOME-RULE MUNICIPALITY**

Sec. 217.041. MUNICIPALITY COVERED BY SUBCHAPTER. This subchapter applies only to a home-rule municipality.

Sec. 217.042. NUISANCE. (a) Except as provided by Subsection (c), the municipality may define and prohibit any nuisance within the limits of the municipality and within 5,000 feet outside the limits.

(b) The municipality may enforce all ordinances necessary to prevent and summarily abate and remove a nuisance.

(c) The municipality may not define and prohibit as a nuisance the sale of fireworks or similar materials outside the limits of the municipality.

Financial Implication:

It is expected that enforcement in the additional territory will have minimal if any financial impact.

Staff Notes:

Approval is recommended.

Attachment: Proposed Ordinance

CITY OF LAVON, TEXAS
ORDINANCE NO: 2024-05-01

Amend Noise Regulations

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LAVON, TEXAS, AMENDING CHAPTER 8 “OFFENSES AND ADDITIONAL PROVISIONS”, ARTICLE 8.03 “NOISE”, SECTION 8.03.001 “DEFINITIONS” OF THE CODE OF ORDINANCES OF THE CITY OF LAVON, TO AMEND THE SCOPE AND PARAMETERS OF THE CITY’S NOISE REGULATIONS; PROVIDING A PENALTY CLAUSE; PROVIDING SAVINGS, REPEALING AND SEVERABILITY CLAUSES; PROVING FOR PUBLICATION; PROVIDING FOR AN EFFECTIVE DATE; AND FINDING AND DETERMINING THE MEETING AT WHICH THIS ORDINANCE IS ADOPTED TO BE OPEN TO THE PUBLIC AS REQUIRED BY LAW.

WHEREAS, the City of Lavon (hereinafter referred to as “City”) is a Home Rule municipality organized under the Constitution and laws of the State of Texas; and

WHEREAS, the City Council of the City of Lavon ("City Council") seeks to protect the public safety, preserve the quality of life, promote health, welfare, convenience, and enjoyment of the public in the City; and

WHEREAS, pursuant to the Texas Local Government Code, the City Council has authority to adopt and publish an ordinance or police regulation that is for the good government, peace or order of the municipality and is necessary or proper for the carrying out a power granted by law to the municipality; and

WHEREAS, pursuant to Texas Local Government Code Section 217.042, a municipality may define and prohibit any nuisance within the limits of the municipality and within 5,000 feet outside the limits; and

WHEREAS, the City Council believes it is in the best interest of the citizens and visitors to the City, to extend the noise regulations to the territorial limits allowed by state law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAVON, COLLIN COUNTY, TEXAS:

SECTION 1. INCORPORATION OF PREMISES. The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2. FINDINGS. After due deliberations the City Council has concluded that the adoption of this Ordinance is in the best interests of the City, and of the public health, safety, and welfare of its citizens.

SECTION 3. AMENDMENTS. Chapter 8 “Offenses and Additional Provisions”, Article 8.03 “Noise”, Section 8.03.001 “Definitions” of the City’s Code of Ordinances is hereby amended to read as follows:

“8.03.001. Definitions and Territorial Application.

- (a) Definitions. All definitions contained within this article are for the purpose of this article only and shall have no impact on any other rule, law or ordinance unless referenced directly within said rule, law or ordinance.
- (1) Construction means any work associated with the assembly, construction or repair of any of the following within the city:
 - (i) Building;
 - (ii) Structure;
 - (iii) Parking lot;
 - (iv) Street; or
 - (v) Alley.
 - (2) Equipment means any truck, tractor, trailer, air compressor, jackhammer or other item generally accepted as being equipment.
 - (3) Heavy equipment means any piece of equipment that is normally recognized as heavy equipment.
- (b) Territorial Application. This article shall be applicable within the corporate limits of the city and further within the area immediately contiguous and adjacent to the city limits, extended for a total distance of 5,000 feet; provided, however, that this article shall not apply within any portion of said 5,000-foot area which is contained within the incorporated territory of any other municipal corporation. Any reference to the “city” within this article shall apply to the area described herein.”

SECTION 4: SAVINGS/REPEALING CLAUSE. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 5: SEVERABILITY. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 6: PENALTY. Any person, firm, corporation, or entity violating this Ordinance, as it exists or may be amended, shall be subject to the penalty as described in Section 8.03.002. The penal provisions imposed under this Ordinance shall not preclude the City from filing suit to enjoin the violation. The City retains all legal rights and remedies available to it pursuant to local, state, and federal law.

SECTION 7: PUBLICATION AND EFFECTIVE DATE. This Ordinance shall become effective immediately upon its adoption and its publication as required by law.

SECTION 8. OPEN MEETING. That it is hereby found and determined that the meeting at which this Ordinance was passed was open to the public as required by law, and that public notice of the time, place, and purpose of said meeting was given, all as required by Chapter 551, Texas Government Code.

DULY PASSED AND APPROVED by the City Council of the City of Lavon, Collin County, Texas,
on this the 7th day of May 2024.

Vicki Sanson, Mayor

ATTEST:

Rae Norton, City Secretary