



AGENDA
MAY 7, 2019
CITY OF LAVON
PLANNING AND ZONING COMMISSION
SPECIAL MEETING
CITY HALL, 120 SCHOOL ROAD - LAVON, TEXAS
6:30 PM

- 1. PRESIDING OFFICER TO CALL THE MEETING TO ORDER AND ANNOUNCE THAT A QUORUM IS PRESENT**
- 2. PLEDGE OF ALLEGIANCE AND INVOCATION**
- 3. ITEMS OF INTEREST/ COMMUNICATIONS**
Members may identify community events, functions and other activities.
- 4. CITIZENS COMMENTS**
Citizens may comment on items that are not on the agenda (3-minute time limit/person). The only Commission response can be to request the items to be placed on a future agenda for consideration.
- 5. ITEMS FOR CONSIDERATION – PLANNING AND ZONING COMMISSION**
 - A.** Discussion and action regarding the Minutes of the February 26, 2019 meeting.
 - B.** Discussion and action regarding the final plat of the Traditions, Phase 2 addition on 30.485 acres of land situated in the Drury Anglin Survey, Abstract No. 2, (CCAD Property ID 1250096), south of the intersection of Geren Dr. and Windmill Dr., Collin County, Texas and consisting of 111 residential lots.
- 6. SET FUTURE MEETINGS AND AGENDAS**
Board Members and staff may request items be placed on a future agenda or request a special meeting.
 - The next regular meeting is scheduled for May 28, 2019.
- 7. PRESIDING OFFICER TO ADJOURN THE MEETING**
 1. Notice is hereby given that members of the City Council, Economic Development Corporation Board, Parks and Recreation Board, and Reinvestment Zone #1 Board may be in attendance at the meeting.
 2. The Commission may vote and/or act upon each of the items listed in this Agenda except for discussion items.
 3. The Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City); §551.072 (discussing purchase, exchange, lease or value of real property); §551.074 (discussing personnel or to hear complaints against personnel); and §551.087 (discussing economic development negotiations). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

This is to certify that this Agenda was duly posted at City Hall and on the City's website at www.cityoflavon.com on or before 6:00 p.m. on May 3, 2019.

Kim Dobbs, City Administrator | City Secretary



MINUTES
FEBRUARY 26, 2019
LAVON PLANNING AND ZONING COMMISSION
CITY HALL, 120 SCHOOL ROAD, LAVON, TEXAS
7:00 PM

ATTENDING: DAVID ROSENQUIST, CHAIRMAN, SEAT 5
BRAD TIEGS, SEAT 1
DEBORAH NABORS, VICE CHAIR, SEAT 2
CYNTHIA COKER, SEAT 3 (Arrived at 7:03 p.m.)
TOM ORMSBY, SEAT 4
VICKI SANSON, EX OFFICIO, COUNCIL LIAISON

1. **MR. ROSENQUIST CALLED THE PLANNING & ZONING COMMISSION MEETING TO ORDER AT 7:00 P.M. AND ACKNOWLEDGED A QUORUM PRESENT.**
2. **MR. ROSENQUIST LED THE RECITATION OF THE PLEDGE OF ALLEGIANCE AND DELIVERED AN INVOCATION.**
3. **ITEMS OF INTEREST/ COMMUNICATIONS.**

April 13 – LEDC Spring Small Business Bazaar
April 13 - CISD Foundation' Denim and Diamonds Fundraising event at the Hilton in Rockwall
April 20 – Spring Fling and Breakfast with the Bunny
April 25 – Lavon Area Chamber of Commerce and CISD Awards Banquet at Bear Creek Center
April 27 – X-treme Green Household Hazardous Waste Collection event

4. **CITIZEN COMMENTS**

There were no citizen comments.

5. **ITEMS FOR CONSIDERATION**

A. **Discussion and action regarding the Minutes of the January 22, 2019 Meeting.**

MOTION: APPROVE THE MINUTES OF THE JANUARY 22, 2019 MEETING.

MOTION MADE: NABORS
SECONDED: ORMSBY
APPROVED: UNANIMOUS

B. **Discussion and action regarding the preliminary plat of the Traditions, Phase 2 addition on 30.485 acres of land situated in the Drury Anglin Survey, Abstract No. 2, (CCAD Property ID 1250096), south of the intersection of Geren Dr. and Windmill Dr., Collin County, Texas and consisting of 111 residential lots.**

MOTION: RECOMMEND APPROVAL OF THE PRELIMINARY PLAT OF THE TRADITIONS, PHASE 2 ADDITION ON 30.485 ACRES OF LAND SITUATED IN THE DRURY ANGLIN SURVEY, ABSTRACT NO. 2, (CCAD PROPERTY ID 1250096), SOUTH OF THE INTERSECTION OF GEREN DR. AND WINDMILL DR., COLLIN COUNTY, TEXAS AND CONSISTING OF 111 RESIDENTIAL LOTS SUBJECT TO THE CORRECTION OF THE SURVEY NAME, REMOVAL OF THE BEAR CREEK SUD SIGNATURE BOX, ADDITION OF THE TRAIL ALIGNMENT AND RESOLUTION OF THE DRAINAGE DESIGN TO THE CITY ENGINEER'S SATISFACTION.

MOTION MADE: NABORS
SECONDED: ORMSBY
APPROVED: UNANIMOUS

6. **WORK SESSION**

Discussion regarding the City of Lavon Comprehensive Plan.

Ms. Dobbs provided a recap of previous discussions regarding an update to the Comprehensive Plan. The Commission discussed options for proceeding. Mr. Tiegs offered to review specifically the sections on history, Lake Lavon and Parks/Open Spaces. Ms. Dobbs advised she had notes for amendments from March 2018 when the zoning ordinance update was considered that she would provide. The Commission agreed to review and mark up notes on the current plan. No action was taken.

7. SET FUTURE MEETINGS AND AGENDAS

The next regular meeting is set for March 26, 2019 at 7:00 p.m.

8. THE MEETING WAS ADJOURNED AT 8:00 P.M.

DULY PASSED AND APPROVED on this 7th day of May 2019.

David Rosenquist, Chairman

Attest:

Kim Dobbs, City Administrator | City Secretary



**CITY OF LAVON
CITY COUNCIL
Agenda Brief**

MEETING: May 7, 2019

ITEM: 5 - B

Item:

Discussion and action regarding the final plat of the Traditions, Phase 2 addition on 30.485 acres of land situated in the Drury Anglin Survey, Abstract No. 2, (CCAD Property ID 1250096), south of the intersection of Geren Dr. and Windmill Dr., Collin County, Texas and consisting of 111 residential lots.

Application Information

- Owner(s):** Bloomfield Homes, LP
- Applicant:** Donald Dyskstra
- Location:** West of Traditions at Grand Heritage (GH), east of Traditions at GH West and South of Windmill Estates
- Description:** Drury Anglin Survey, Abstract No. 2, CCAD property ID 1250096
Collin County, Texas (30.485 acres combined)
- Current Zoning:** Planned Development – Single Family (PD-SF)
- Request:** Consideration of a Final Plat

Request Details

The applicant has submitted a final plat for a residential development consisting of 111 residential lots and 2 common area lots on 30.485 acres. The final plat conforms to the approved zoning and preliminary plat.

Code Excerpt:

City of Lavon –Subdivision Ordinance

Section 4.04 FINAL PLAT

After approval of the preliminary plat by the planning and zoning commission and City Council, a final plat, prepared by a registered public surveyor bearing his or her seal and the construction plans prepared by a registered professional civil engineer bearing his or her seal, shall be submitted to the planning and zoning commission.

Staff Notes:

On March 5, 2019, the City Council approved the preliminary plat of the Traditions Phase 2 addition. Although zoned in accordance with the Grand Heritage development Planned Development, Ordinance No. 2004-09-05, the addition is not a part of the Grand Heritage development.

The proposed development takes primary access from CR 484/Geren and provides connections to Traditions at Grand Heritage on Willow Lane and to Traditions at Grand Heritage West on Revere Lane. The proposed lot layout is consistent with the developments situated directly adjacent on the east and west sides.

The homes in the development are expected to be constructed by Bloomfield Homes, the same company that developed the Traditions subdivisions on either side. The development will provide for the extension of public infrastructure systems for water, sanitary sewer and trails. A facilities development agreement outlining specific public infrastructure requirements related to the development will be considered by the City Council in conjunction with the final plat.

The proposed final plat and construction plans were reviewed by the staff development review committee and the City's consulting engineer. The city staff and city engineer's comments have been satisfied.

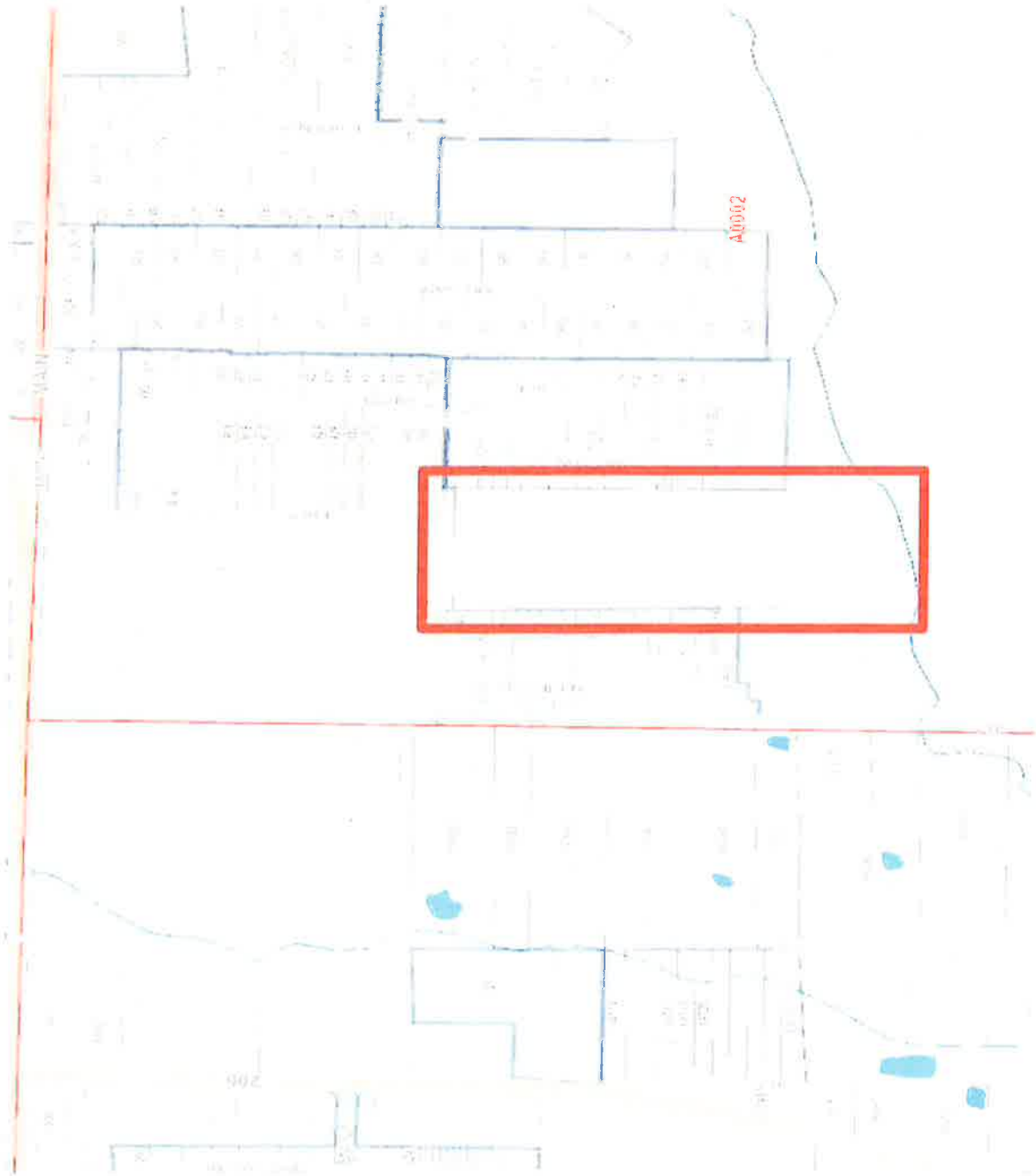
The Planning and Zoning Commission is scheduled to consider the proposed final plat at a special meeting on May 7, 2109 prior to the City Council meeting as the April 23, 2019 meeting was cancelled due to lack of quorum.

Approval is recommended subject to the recommendation of the Planning and Zoning Commission and City Council approval of a facilities development agreement.

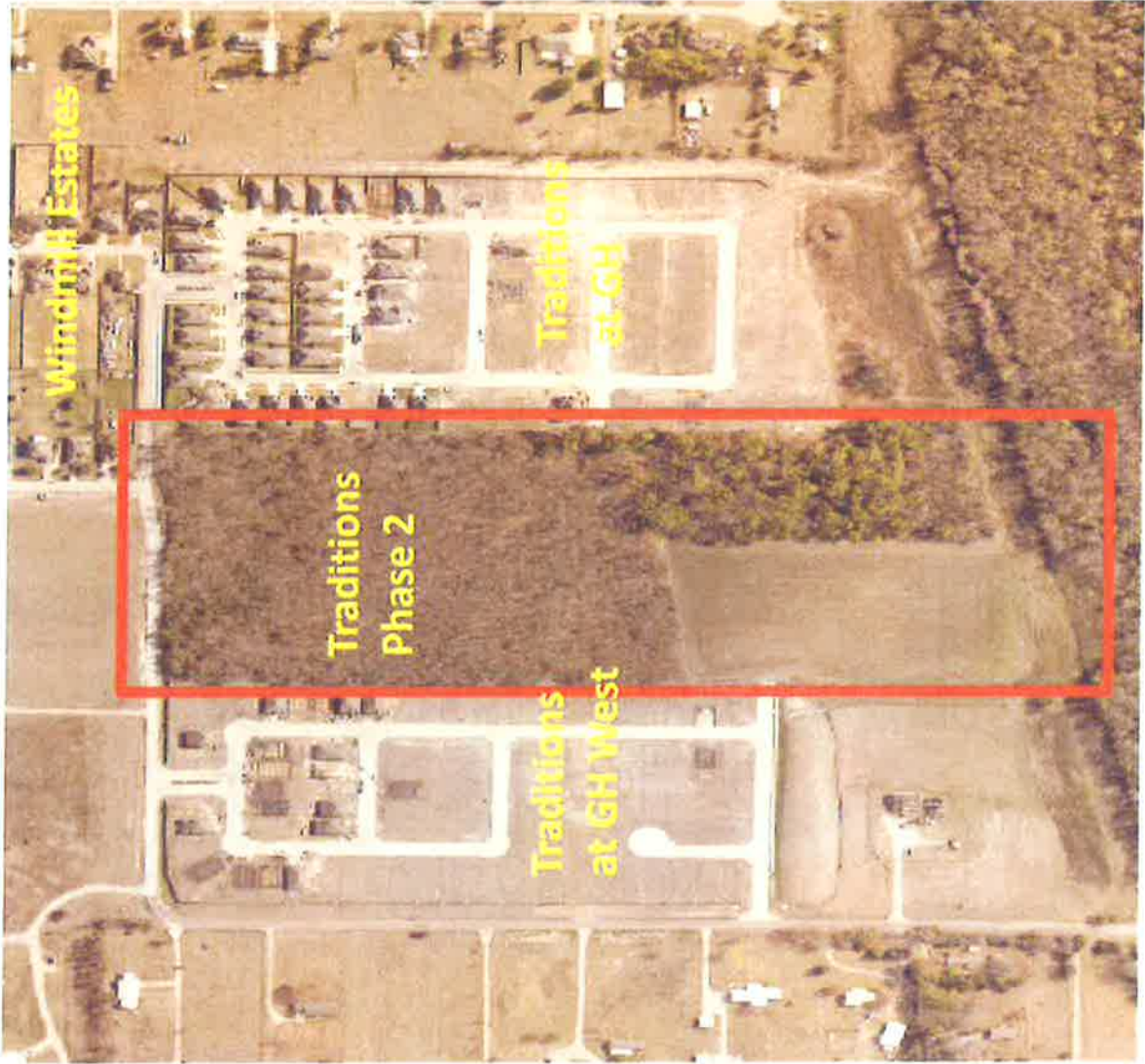
- Attachments:**
1. Final Plat
 2. Location Exhibits
 3. Engineer's correspondence

May 3, 2019

Traditions Ph 2 – Location Exhibit

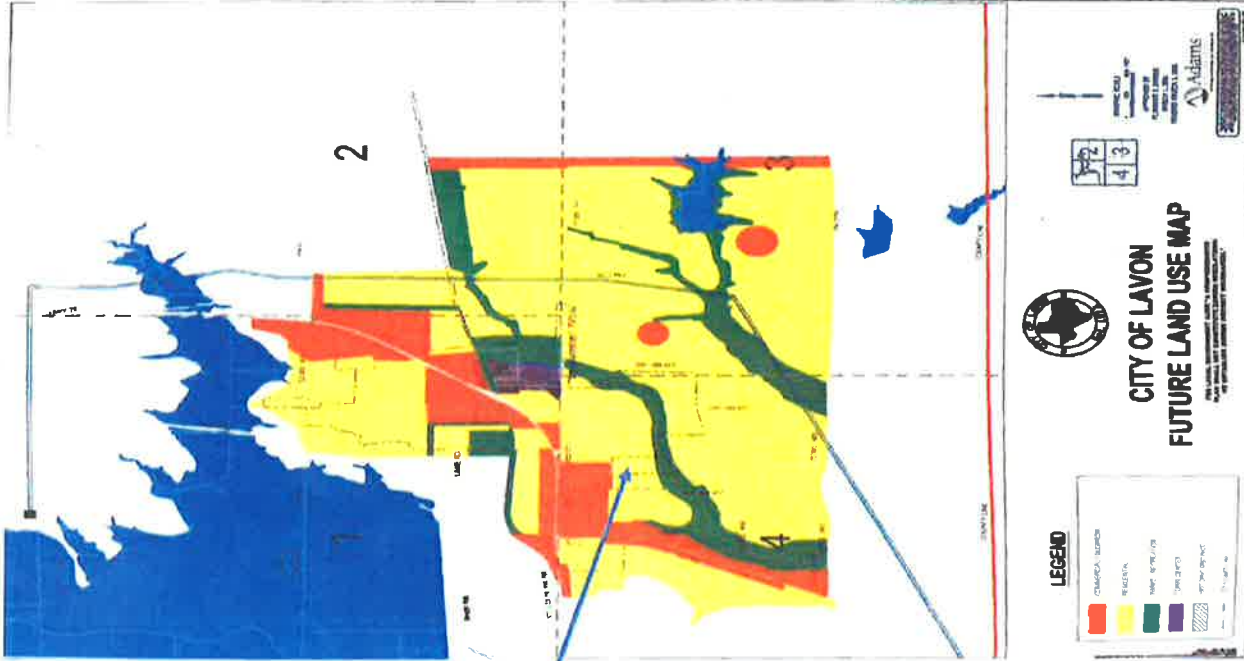


Traditions Ph 2 – Location Exhibit



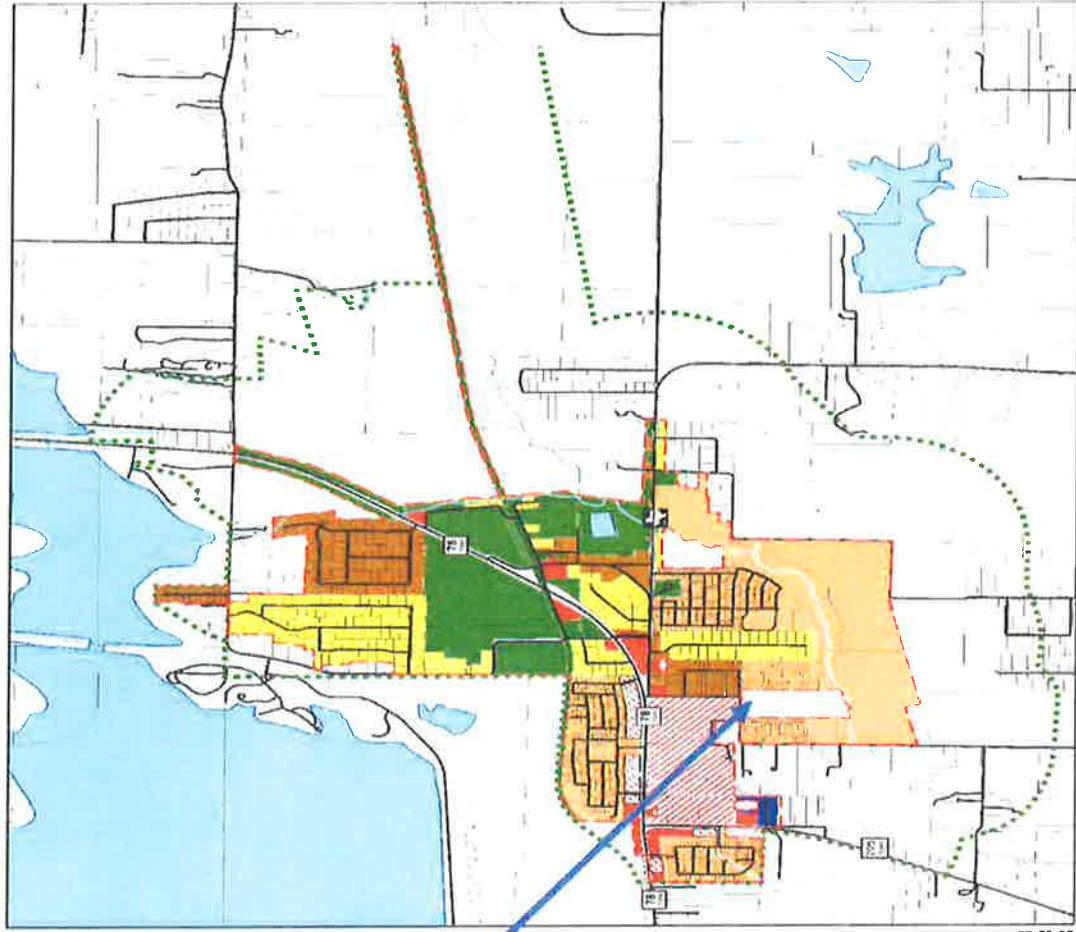
Future Land Use Map

Traditions Ph 2 Addition



Zoning Map

Traditions Ph 2 Addition



ZONING MAP

Ordinance No. 2018-03-02
March 6th, 2018



Legend

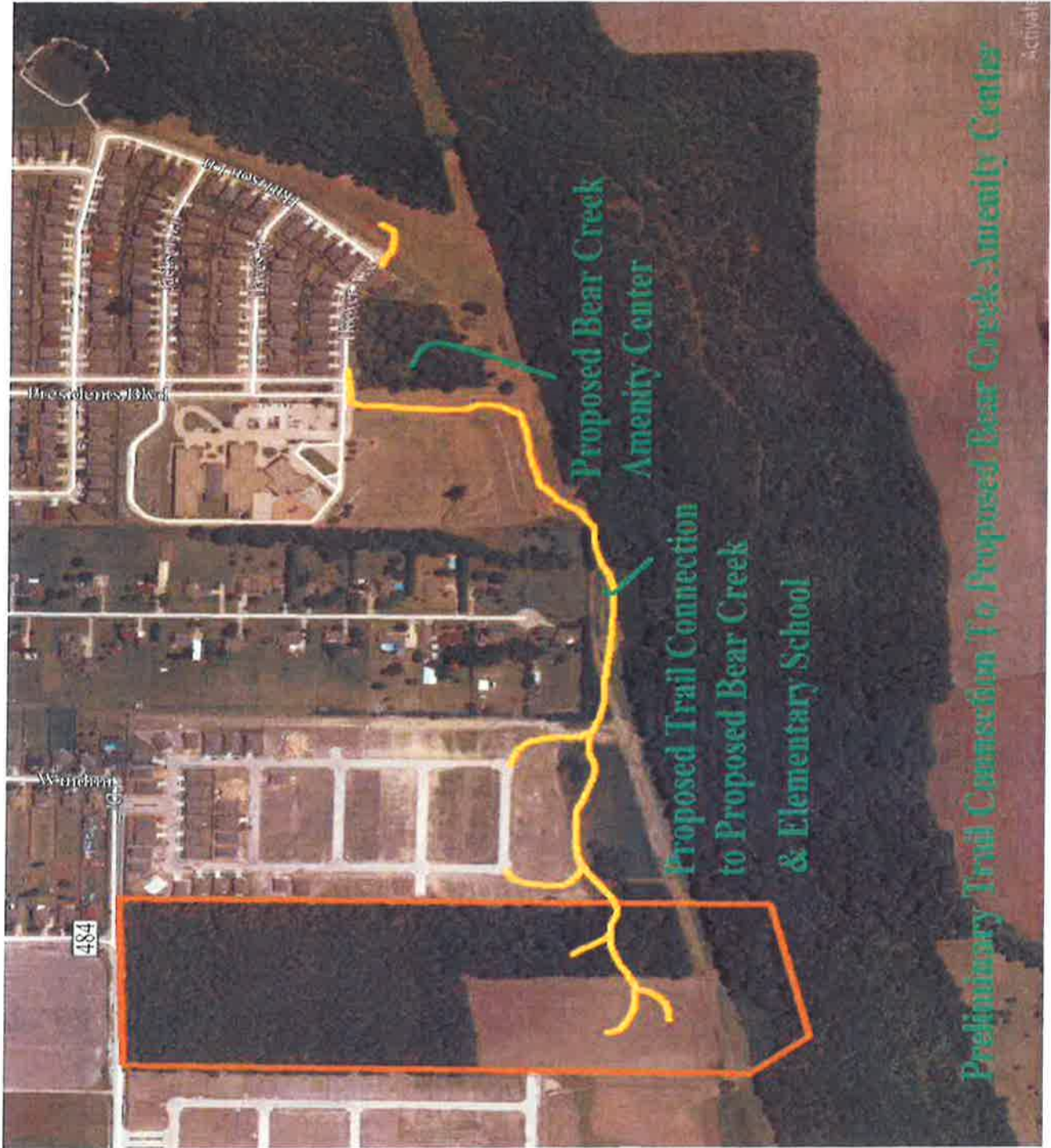
- Agricultural (A)
- Single Family-1 (SF-1)
- Single Family-2 (SF-2)
- Retail (R)
- Planned Development – Single Family (PD-SF)
- Planned Development – Mixed Use (PD-MU)
- Planned Development – Commercial (PD-C)
- Planned Development – Business (PD-B)
- Lavon City Limits

For Planned Development Regulations
See the City of Lavon Ordinance applicable to the specific site

Unassigned Zoning Districts

- Single-Family -4 (SF-4)
- Main Street
- Business Park District (B-2)

For General Regulations of these Zoning Districts
see the City of Lavon Zoning Ordinance



Proposed Bear Creek Amenity Center

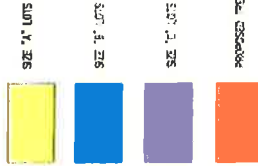
Proposed Trail Connection to Proposed Bear Creek & Elementary School

Preliminary Trail Connection To Proposed Bear Creek Amenity Center

ACTIVATE



LOCATION MAP



INFORMATIONAL NOTE:

1. LOT SIZE TYPES ARE SHOWN FOR APPROXIMATE OVERALL PERCENTAGES. LOCATIONS OF EACH LOT SIZE TYPE SHALL BE COMPLETED WITH THE APPROVAL OF THE FINAL PLAT AND CONSTRUCTION PLANS.
2. TREE PRESERVATION AREAS SHOWN ARE SHOWN WHERE IT IS CONSIDERED TO MAKE REASONABLE EFFORTS TO PRESERVE EXISTING TREES OF VALUE.

**PLANNED DEVELOPMENT
EXHIBIT 'C'
CONCEPT PLAN
TRADITIONS AT GRAND HERITAGE
PHASE 2**

BEING IN LOTS 20-10-001-001 THROUGH 20-10-001-008
CITY OF WAGON, COLORADO COUNTY, COLORADO

VOLUME 2001, PAGE 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

USA PROFESSIONAL SERVICES GROUP, INC.
ONE WYOMING STREET, SUITE 100, WAGON, CO 80550
TEL: 303.733.1100 FAX: 303.733.1101
WWW.USAPROFES.COM

DESIGNED BY
BLOOMFIELD HOMES LP
3070 W. 100TH AVENUE, SUITE 100
DENVER, CO 80231
(303) 481-1977

NOTE:
THIS CONCEPT PLAN IS EXHIBIT 'C' MADE A PART OF THE WRITTEN PLANNED DEVELOPMENT. IT GENERALLY ILLUSTRATES THE LOT LAYOUT AND SIZES. FINAL LAYOUT & SIZES WILL BE COMPLETED WITH APPROVAL OF THE FINAL PLAT AND CONSTRUCTION PLANS.



TRADITIONS AT GRAND HERITAGE PHASE 2
CONCEPT PLAN
EXHIBIT 'C'

DATE: 07/15/2016
BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN

April 12, 2019

Ms. Kim Dobbs
City Administrator
City of Lavon
120 School Road
Lavon, Texas 75166

VIA Email: kim.dobbs@cityoflavon.org
Leann.mcxlendon@cityoflavon.org
mdhill@fmi-dallas.com

RE: Final Plat and Final Engineering Plans
Traditions at Grand Heritage Phase 2
111 SF Lots, 2 Open Space Lots and City Dedication on 30.485 Acres.

Dear Kim:

Please find herein our responses to each of the review comments generated by Mr. Mark Hill, PE, Freeman-Millican, Inc., on behalf of the City, based on a final review of the Final Plat and Final Engineering Plans, prepared by USA Professional Services Group, INC. ("USAI"), on the above referenced project. Our responses are shown in red.

General

1. The property is being platted into 111 residential lots, 2 HOA open spaces and 1 lot being dedicated to the City of Lavon. The City of Lavon Lot has been designated as a "Sanitary Sewer, Utility, Pedestrian Access & Drainage Easement Specifically for Use by the City of Lavon Only". This property mostly is within the floodplain.
2. The property is zoned Planned Development for Single Family (PD-SF) per Ordinance 2018-08-04.
3. This development will connect to Traditions at Grand Heritage at Willow Lane and Traditions at Grand Heritage West at Revere Lane.
4. A variable width Right-of-Way (ROW) is being dedicated along CR 484. This ROW follows the centerline of the street and is based upon a future 60' total ROW width.
5. We recommend that a typical street section be provided with the paving plans.
A typical street section has been provided on the Paving Plan. It is a Local 31' Street (50' ROW) – Residential per DS-PV1 also contained within the plans.

Final Plat

6. "Anglin" should be added to the survey name in the sheet title block.
We have added "Anglin" to the survey name on the Final Plat sheet title block.
7. A note should be added that the drainage ditch within the City of Lavon property dedication (Lot 11, Block C) shall be maintained by the HOA. This should also be included in the dedication language.
We have added a note regarding the HOA maintenance of the discharge ditches within Lot 11 – Block C as well as in the dedication language on sheet 2 of the Final Plat.

8. **A drainage easement appears to be needed for the ditch improvements from Traditions West.**
The actual description on the Final Plat is to the approximate centerline of Bear Creek which has varied since the original deed was filed. The property owner owns to the centerline of the creek.
9. **The 10' drainage easement along the east side of Block C should be noted that the HOA shall be responsible for maintenance.**
We have added a note that this 10' drainage easement will be the responsibility of the lot owner as well as the HOA.
10. **The signature block for Bear Creek SUD should be removed from the Plat since they do not have any platting authority or ownership of the property.**
This signature block has been removed from the Final Plat.

Grading Plan (Sheet 7 of 31)

11. **We recommend that sections be provided along CR 484 to clarify the proposed ditch and storm drainage.**
As requested, we have added sections along CR484 as requested on the Lot Grading Plan.
12. **Slopes from the edge of road to the ditch appear to be too steep. We recommend a maximum of 10% in this area.**
The steepest proposed slope on one section is approximately 11.1% to achieve a 1% slope from the lot line. The remainder slopes are 5% or less.

Grading Plan (Sheet 8 of 31)

13. **There are several locations with "lot to lot" drainage. Per Ordinance 2008-04-02 this is not allowed.**
We have reviewed Ordinance No. 2008-04-02 and believe that "lot to lot" drainage can be approved, where it is warranted, and is incorporated within new subdivision plans that have criteria set up for approval. Lot to lot drainage has been approved, due to existing slopes running north to south, on both of the adjoining communities. Bloomfield Homes is very attentive to making sure lot grading is performed correctly. Saving of trees on this project is a major factor in allowing this type of lot surface flow.. With this in mind, we have incorporated the following into our Final Plat and Plans:
 - Aligned the lot lines to allow for ease of lot flow
 - Provided drainage easements along all lot lines on the Final Plat
 - Stated on the Final Plat that the HOA and the City have the right, but not the obligation, to enforce that the drainage is maintained to the intent of the approved lot grading plans within these drainage easements
 - Stated, on the Final Plat, that fences or any other type of obstructions shall not, in any case, impede the lot surface flow as shown on the lot grading plans.
14. **The drainage easement along the east property line of Block C should be HOA maintained.**
We have added a note that this 10' drainage easement will be the responsibility of the lot owner as well as the HOA.

Drainage Area Map (Sheet 14 of 30)

15. This sheet was revised on February 21, 2019.
16. Existing and proposed flow data should be provided. The impact of any increase in flow to Bear Creek, i.e. no detention, must show no significant impact to the flood elevation or floodplain extents.
We have shown both the existing and post developed flows per request. This property is directly adjacent to Bear Creek for direct discharge which is intended to carry the developed storm water and further is capable of carrying this additional flow. The additional post developed flow from this site is approximately 0.5% of the total developed flow in Bear Creek. This will not have a significant impact on the 100 year post developed base flood elevations or the limits of the flood plain.
17. There is a Section A-A shown along CR 484. It is not known where this section is shown on the plans.
This section "A-A" has been removed as it is not needed.
18. There are 2-5' and 1-10' inlet at the end of Svenson Lane. These have been combined in the inlet calculations. Each of these should be shown separately in order to determine the flow to each.
We have divided the drainage areas into three sub-areas/flows and show how they affect each inlet as requested. We have also revised the profile to show the flow correctly.

Storm Sewer Plan & Profile (Sheet 16 of 31)

19. The existing ditch from the Bear Creek WWTP should be shown intersecting Ditch D-1. Erosion control will be required for this WWTP ditch to a point 5' beyond the top bank of Ditch D-1.
We have shown the existing ditch coming from the WWTP and have shown erosion control installation as requested.
20. Ditch D-1 appears to daylight at Bear Creek beyond the property line. A drainage easement will be required from the property owner.
The property is described to be the approximate centerline of Bear Creek which has varied since the original deed was filed.
21. Details should be provided for erosion control at Bear Creek.
Erosion control as well as grading has now been shown at both the direct connections to Bear Creek. We have also added a note directing the contractor to alert the Engineer prior to making these connections to review and make recommendations on the actual connection prior to installation.
22. Since there are several versions of the erosion control (Green VMAX & Flexamat), the Engineer should provide additional information such as product number, required velocity and soil shear capabilities, etc.
The Green Vmax C350 is specified for the product. The Flexamat has only one spec. that we are aware of. We state in the notes that installation shall follow the manufacturer's specifications. These products both are known for use with erosive velocities and their soil shear strengths.

Storm Sewer Plan & Profile (Sheet 17 of 31)

23. There is a note on "Ditch A" that does not appear to be needed on this sheet. The Engineer should verify.
Removed.

Storm Sewer Plan & Profile (Sheet 19 of 31)

24. Line D-3 appears to daylight at Bear Creek beyond the property line. A drainage easement will be required from the property owner.
The property is described to be the approximate centerline of Bear Creek which has varied since the original deed was filed.
25. Details should be provided for erosion control at Bear Creek in the grade to drain area.
Erosion control as well as grading has now been shown at both the direct connections to Bear Creek. We have also added a note directing the contractor to alert the Engineer prior to making these connections so a discussion can be had in the field.
26. Flow data should be provided on all pipe & ditch segments.
Flow data has been shown as requested.
27. Erosion control is not shown on the "Grade to Drain Detail".
Erosion control as well as grading has now been shown at both the direct connections to Bear Creek. We have also added a note directing the contractor to alert the Engineer prior to making these connections so a discussion can be had in the field.

Storm Sewer Plan & Profile (Sheet 21 of 31)

28. There is data missing on the callouts in the Profile.
Data has been added as requested.
29. Flow data should be provided on all pipe & ditch segments.
Flow data has been added as requested.

CBU, Street Light & Signage Plan (Sheet 29 of 31)

30. A street light is required at the location of any cluster mailboxes.

We have called for placing street lights approximately 100' on either side of said proposed CBU installations to provide lighting. This is the criteria that is used in most developments.

We would like to thank the City of Lavon staff for reviewing and working with us to allow for a new, very high quality community in the City.

David M. Schnurbusch, PE
USA Professional Services Group, Inc.
President-CEO

April 18, 2019

Ms. Kim Dobbs
City of Lavon
PO Box 340
120 School Road
Lavon, TX 75166

Re: Traditions at Grand Heritage Phase 2, 111 Lots, 3 open space, 30.485 Acres
Final Plat

Dear Ms. Dobbs:

As requested, we have reviewed the revised Final Plat dated April 9, 2019 and Engineering Plans dated April 10, 2019 as prepared by USA Professional Services Group, Inc. for the above referenced property. The property is located south of CR 484 in between Traditions at Grand Heritage to the east and Traditions at Grand Heritage West on the west and Bear Creek on the south. Our comments are as follows:

Final Plat

1. All previous comments have been satisfactorily addressed.

Grading Plan (Sheet 7 & 8 of 30)

2. Cross sections along CR484 have been provided as requested.
 - a. Section 1 shows a grate inlet that is not shown on the storm sewer plan.
 - b. Section 4 shows a sidewalk. The sidewalk should be shown on the plans.
3. Some of the slopes in the plan view do not appear to match the section views. If these are existing slopes in plan view, then it should be labeled as such for clarity.
4. Slopes shown in plan view do not appear to correspond with sections. If these are existing slopes, they should be identified for clarity.
5. The shaded "tree preservation areas" do not appear to be visible on this sheet (ref Note 5).
6. The grading plans should be updated to reflect the drainage to the side property line (Block D, E, F) and the proposed private drain line (Block C) on the lot-to-lot drainage areas per discussion with the Developer and Engineer.

Drainage Area Map (Sheet 14 of 30)

7. The Engineer should reference the source of the post-developed 9,700 cfs. If the flow cannot be referenced, and the study or data used be made available to the City, we recommend utilizing the preliminary flood study prepared by Jacobs, dated March 1, 2018, for the President's Blvd. Bridge over Bear Creek. This shows a pre-development flow of 7,176 cfs and a post development flow of 8,080 cfs in this reach of Bear Creek.

8. There appears to be a typographic error in regards to the additional flow identified in the note.
9. Curb inlets have been provided at the north end of both cul-de-sacs. The curb inlet at the end of the cul-de-sac on Svenson Lane has a capacity of 15.0 cfs and an expected flow of 5.9 cfs. The cul-de-sac at the end of Tollett Lane has a capacity of 7.5 cfs and an expected flow of 2.4 cfs.

Storm Sewer Plan & Profile, Ditch D-1 (Sheet 15 of 30)

10. Ditch D-1 will be within a 30' drainage easement. A copy of the executed easement should be provide to the City prior to approval of the Final Plat.
11. Erosion control at the ditch outfall to be field determined prior to connection to Bear Creek. The final erosion control design should be provided ot the City for review and approval.
12. Any work under the Garland Light & Power easement will require a permit. This must be procured prior to any construction activities.
13. Per the Engineer's response to previous comments, the property line is the approximate centerline of Bear Creek, but the creek has varied since then. However, it appears that the ditch extends beyond the platted property line shown (which is called out as approximate centerline creek, but does not appear to be), which would imply it extends into the adjacent property. The adjacent Crestridge Meadows Phase 1 Final Plat also calls out the common line meanders along Bear Creek. That being said, it appears that as long as the improvements are on the north side of Bear Creek, there would not be a need for any easements.

Storm Sewer Plan & Profile (Sheet 16 of 30)

14. There is a note on "Ditch A" that does not appear to be needed on this sheet. The Engineer should verify.
15. There is some flow data shown above the ditch in the profile. It is not clear as to what this data is.

Storm Sewer Plan & Profile (Sheet 17-19 of 30)

16. All flow, velocity and slope data is not complete.

Storm Sewer Plan & Profile, Line D-4 (Sheet 01 of 31)

17. The grate inlet near station 2+50, as shown on the section views on sheet 7 of 30, is not shown in plan or profile.
18. The maximum water surface in the ditch should be shown.
19. Flow data should be provide for each slope segment and/or change in flow.

CBU, Street Light & Signage Plan (Sheet 29 of 31)

Ms. Kim Dobbs
Traditions at Grand Heritage Phase 2, Final Plat
April 18, 2019
Page 3 of 3

20. A street light is required at the location of any cluster mailboxes. The street light shall be within 50' of the mailbox cluster.

21. The metal beam guardrail at Geren should be extended to beyond the west edge of Geren to protect houses in the event of a vehicle failing to stop. The west end shall be a terminal anchor section.

Trail Plan (1 of 1)

22. A typical section should be provided.

This concludes our review of the above referenced Final Plat and Final Engineering Plans. A copy of the Final Plat and Engineering plans with markups is attached for your convenience.

Comments above should be addressed prior to final approval by City Council. **We recommend approval of the Final Plat by the P&Z.**

The review conducted by FMI was for the limited purpose of code and ordinance compliance review for the exclusive benefit of the City of Lavon. The above referenced documents were not reviewed as to their quality or for errors on the part of the surveyor or engineer.

If there are any questions, please contact me at 214-503-0555 x115 or by email at mdhill@fmi-dallas.com.

Sincerely,
FREEMAN-MILLICAN, INC.



Mark D. Hill, P.E.
Consulting City Engineer

Attachment

Cc: Sonny Mancias, Mike Jones, David Schnurbusch

F:\17024 - LAV General Servies\9 - Review\Traditions II\Traditions 2 - Final Plat - Rev 1.docx



FINAL ENGINEERING PLANS TRADITIONS AT GRAND HERITAGE PHASE 2 CITY OF LAVON, COLLIN COUNTY, TEXAS



**OWNER & DEVELOPER: BLOOMFIELD HOMES, LP,
1050 E. HWY 114 #210 SOUTHLAKE, TEXAS 76092**



LEGEND

Symbol	Description
[Symbol]	1. COVER SHEET
[Symbol]	2. FINAL PLAT SHEET 19#2
[Symbol]	3. GENERAL NOTES 19#2
[Symbol]	4. EROSION CONTROL PLAN
[Symbol]	5. EROSION CONTROL DETAILS
[Symbol]	6. GRADING PLAN
[Symbol]	7. GRADING PLAN
[Symbol]	8. WATER PLAN
[Symbol]	9. SANITARY SEWER PLAN
[Symbol]	10. SANITARY SEWER PROFILE: LINE S-1
[Symbol]	11. SANITARY SEWER PROFILE: LINE S-2
[Symbol]	12. SANITARY SEWER PROFILE: LINES S-3 THRU S-6
[Symbol]	13. DRAINAGE AREA MAP
[Symbol]	14. STORM SEWER PLAN & PROFILE: DITCH D-1
[Symbol]	15. STORM SEWER PLAN & PROFILE: LINE D-2
[Symbol]	16. STORM SEWER PLAN & PROFILE: LINE D-2
[Symbol]	17. STORM SEWER PLAN & PROFILE: LINE D-2
[Symbol]	18. STORM SEWER PLAN & PROFILE: LINE D-3
[Symbol]	19. STORM SEWER PLAN & PROFILE: DITCH D-4
[Symbol]	20. PAVING PLAN & PROFILE: SVENSON LANE
[Symbol]	21. PAVING PLAN & PROFILE: STANTON LANE & WHITNEY LANE
[Symbol]	22. PAVING PLAN & PROFILE: STANTON LANE & CHANDLER LANE
[Symbol]	23. PAVING PLAN & PROFILE: TOULETT LANE
[Symbol]	24. PAVING PLAN & PROFILE: TOULETT LANE
[Symbol]	25. PAVING PLAN & PROFILE: REVERE LANE & WILLOW LANE
[Symbol]	26. WATER DETAILS BCSUD
[Symbol]	27. WATER DETAILS BCSUD
[Symbol]	28. WATER DETAILS BCSUD
[Symbol]	29. WATER DETAILS BCSUD
[Symbol]	30. TRAIL PLAN

ABBREVIATIONS

1.0	As Shown
2.0	As Shown
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96.0	As Shown
97.0	As Shown
98.0	As Shown
99.0	As Shown
100.0	As Shown

CONTACTS

BLOOMFIELD HOMES, LP 1050 E. HWY 114 #210 SOUTHLAKE, TX 76092 TEL: (817) 441-4320
USA PROFESSIONAL SERVICES GROUP, INC. 1515 VICTORY DRIVE, DALLAS, TX 75235 TEL: (214) 634-3399
TEAS SECAVATOR SAFETY SYSTEM 11001 W. 10TH ST. #100 FARMERS BRANCH, TX 75440 TEL: (972) 441-5485
MORIN TRASP PRINCIPAL WATER DISTRICT 11001 W. 10TH ST. #100 FARMERS BRANCH, TX 75440 TEL: (972) 441-5485

SHEET INDEX

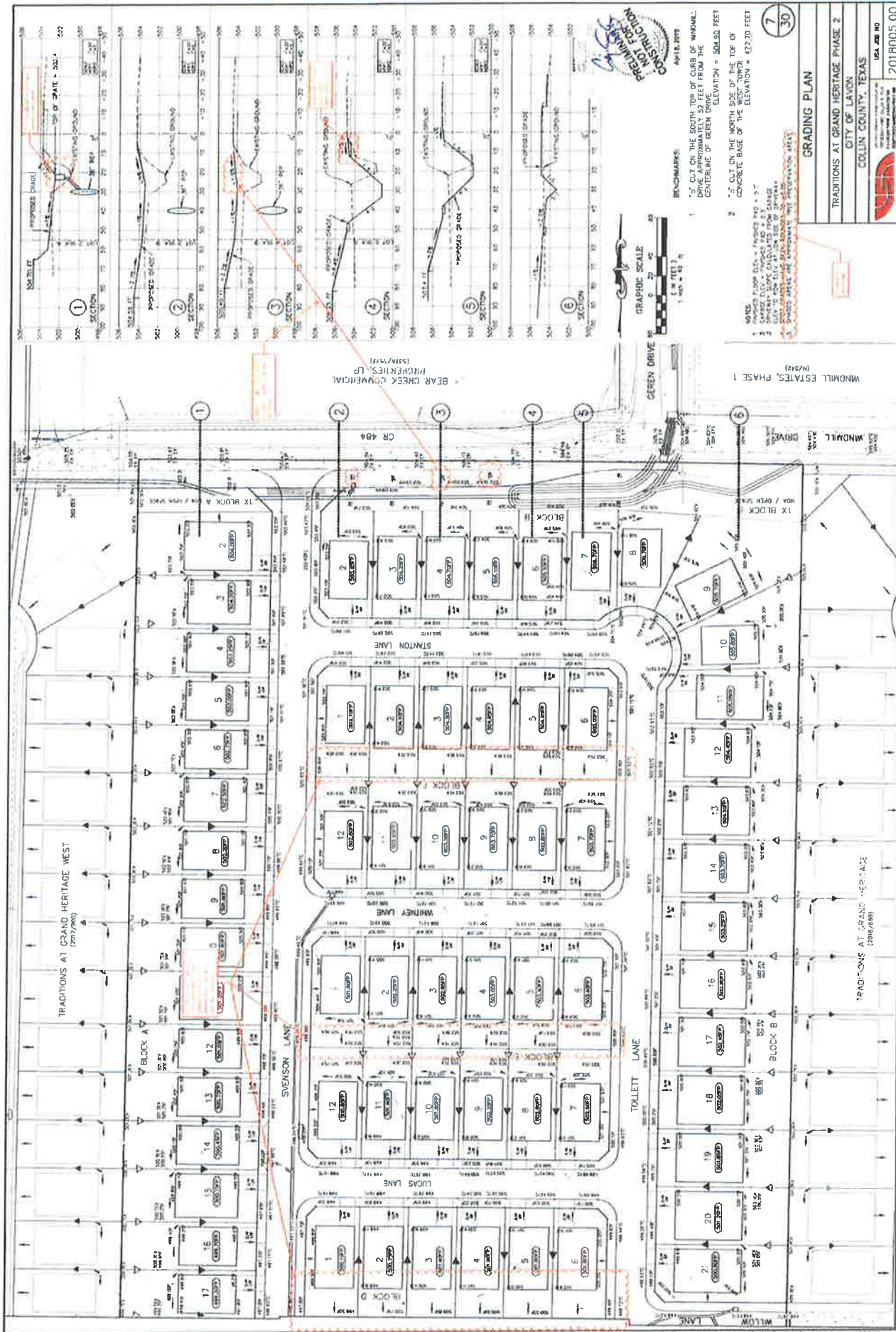
NO.	TITLE
1.	COVER SHEET
2.	FINAL PLAT SHEET 19#2
3.	GENERAL NOTES 19#2
4.	EROSION CONTROL PLAN
5.	EROSION CONTROL DETAILS
6.	GRADING PLAN
7.	GRADING PLAN
8.	WATER PLAN
9.	SANITARY SEWER PLAN
10.	SANITARY SEWER PROFILE: LINE S-1
11.	SANITARY SEWER PROFILE: LINE S-2
12.	SANITARY SEWER PROFILE: LINES S-3 THRU S-6
13.	DRAINAGE AREA MAP
14.	STORM SEWER PLAN & PROFILE: DITCH D-1
15.	STORM SEWER PLAN & PROFILE: LINE D-2
16.	STORM SEWER PLAN & PROFILE: LINE D-2
17.	STORM SEWER PLAN & PROFILE: LINE D-2
18.	STORM SEWER PLAN & PROFILE: LINE D-3
19.	STORM SEWER PLAN & PROFILE: DITCH D-4
20.	PAVING PLAN & PROFILE: SVENSON LANE
21.	PAVING PLAN & PROFILE: STANTON LANE & WHITNEY LANE
22.	PAVING PLAN & PROFILE: STANTON LANE & CHANDLER LANE
23.	PAVING PLAN & PROFILE: TOULETT LANE
24.	PAVING PLAN & PROFILE: TOULETT LANE
25.	PAVING PLAN & PROFILE: REVERE LANE & WILLOW LANE
26.	WATER DETAILS BCSUD
27.	WATER DETAILS BCSUD
28.	WATER DETAILS BCSUD
29.	WATER DETAILS BCSUD
30.	TRAIL PLAN
1/1	

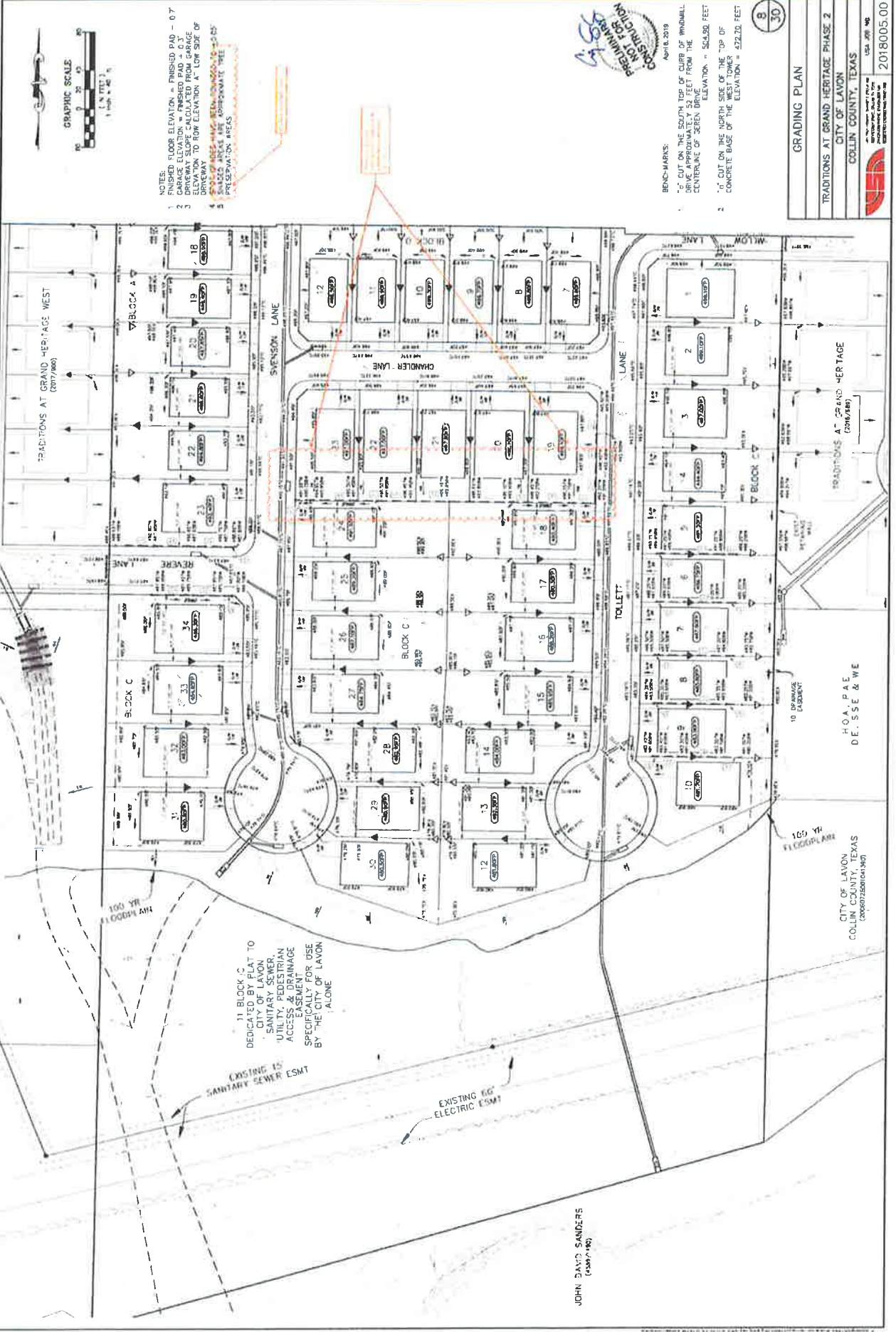


April 10, 2019

USA PROFESSIONAL SERVICES GROUP, INC.
 CIVIL ENGINEERS-SURVEYORS-PLANNERS-LANDSCAPE ARCHITECTS
 TEXAS BOARD OF PROFESSIONAL ENGINEERS REGISTERED FIRM NO. F-1145
 TEXAS BOARD OF PROFESSIONAL LAND SURVEYORS REGISTERED FIRM NO. 101674-00
 OFFICE: (214) 634-3399 FAX: (214) 634-3398
 WWW.USAPROFENGINEERS.COM

APRIL 2019





- NOTES:
- 1 FINISHED FLOOR ELEVATION = FINISHED PAD - 0.7'
 - 2 GARAGE ELEVATION = FINISHED PAD + 0.3'
 - 3 ELEVATION DETERMINED FROM GARAGE ELEVATION TO ROOM ELEVATION 4' FOR SIDE OF DRIVEWAY
 - 4 2'-0" BENCH MARK BEHIND CONCRETE TOWER
 - 5 PRESERVATION AREAS



BENCH-MARKS:
 1 "C" CUT ON THE SOUTH TOP OF CURB OF WINDMILL DRIVEWAY
 2 "C" CUT ON THE NORTH SIDE OF THE WEST TOWER CONCRETE BASE OF THE WEST TOWER
 ELEVATION = 42.20; FEET

GRADING PLAN	
TRADITIONS AT GRAND HERITAGE PHASE 2	
CITY OF LAVON	
COLLIN COUNTY, TEXAS	
100% COMPLETE FOR PERMITS DATE: 04/16/2019	20180005.00

11 BLOCK C
 DEDICATED BY PLAT TO
 CITY OF LAVON
 SANITARY SEWER,
 UTILITY, PEDESTRIAN
 ACCESS, MANAGE
 ES SEWAGE
 SPECIFICALLY FOR USE
 BY THE CITY OF LAVON
 ALONE.

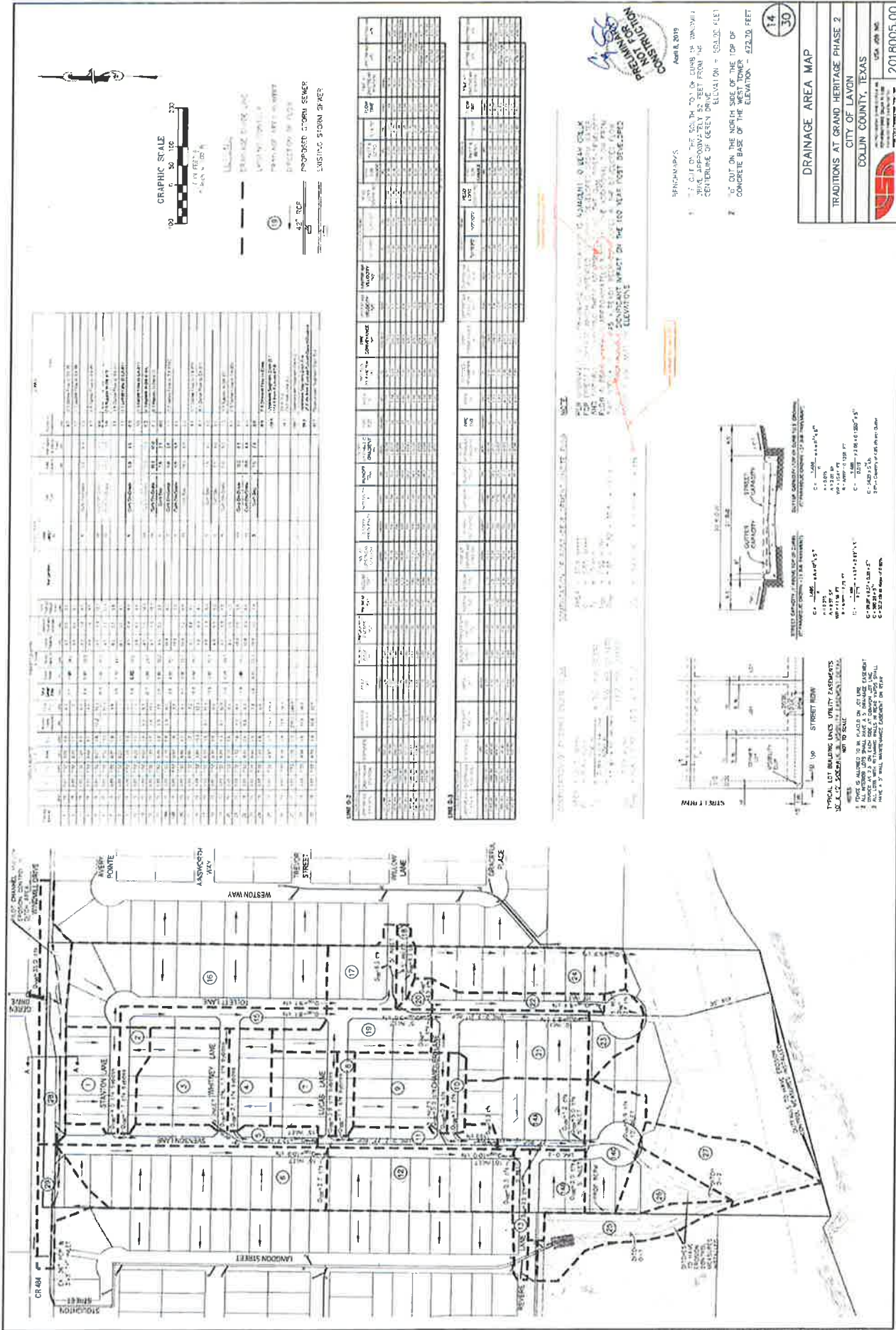
EXISTING 15"
 SANITARY SEWER ESMT

EXISTING 60"
 ELECTRIC ESMT

JOHN DAVID SANDERS
 (26087-198)

H.O.A. P.A.E.
 D.E., S.S.E. & W.E

CITY OF LAVON
 COLLIN COUNTY, TEXAS
 (2608725001041947)



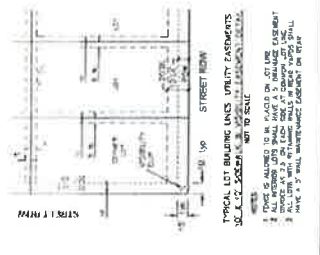
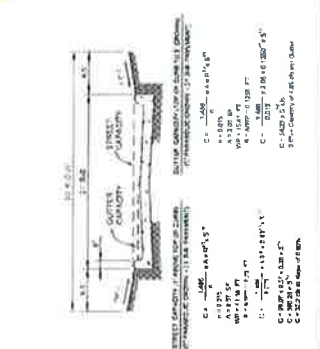
GRAPHIC SCALE
0 50 100 200
FEET



Lot No.	Area (sq. ft.)	Runoff Coefficient (C)	Peak Flow (cfs)	Time of Concentration (min)
1	1,200	0.5	0.1	10
2	1,500	0.5	0.1	10
3	1,800	0.5	0.1	10
4	2,100	0.5	0.1	10
5	2,400	0.5	0.1	10
6	2,700	0.5	0.1	10
7	3,000	0.5	0.1	10
8	3,300	0.5	0.1	10
9	3,600	0.5	0.1	10
10	3,900	0.5	0.1	10
11	4,200	0.5	0.1	10
12	4,500	0.5	0.1	10
13	4,800	0.5	0.1	10
14	5,100	0.5	0.1	10
15	5,400	0.5	0.1	10
16	5,700	0.5	0.1	10
17	6,000	0.5	0.1	10
18	6,300	0.5	0.1	10
19	6,600	0.5	0.1	10
20	6,900	0.5	0.1	10
21	7,200	0.5	0.1	10
22	7,500	0.5	0.1	10
23	7,800	0.5	0.1	10
24	8,100	0.5	0.1	10
25	8,400	0.5	0.1	10
26	8,700	0.5	0.1	10
27	9,000	0.5	0.1	10
28	9,300	0.5	0.1	10
29	9,600	0.5	0.1	10
30	9,900	0.5	0.1	10
31	10,200	0.5	0.1	10
32	10,500	0.5	0.1	10

Lot No.	Area (sq. ft.)	Runoff Coefficient (C)	Peak Flow (cfs)	Time of Concentration (min)
100	10,500	0.5	0.1	10
101	10,500	0.5	0.1	10
102	10,500	0.5	0.1	10
103	10,500	0.5	0.1	10
104	10,500	0.5	0.1	10
105	10,500	0.5	0.1	10
106	10,500	0.5	0.1	10
107	10,500	0.5	0.1	10
108	10,500	0.5	0.1	10
109	10,500	0.5	0.1	10
110	10,500	0.5	0.1	10
111	10,500	0.5	0.1	10
112	10,500	0.5	0.1	10
113	10,500	0.5	0.1	10
114	10,500	0.5	0.1	10
115	10,500	0.5	0.1	10
116	10,500	0.5	0.1	10
117	10,500	0.5	0.1	10
118	10,500	0.5	0.1	10
119	10,500	0.5	0.1	10
120	10,500	0.5	0.1	10

APRIL 8, 2019
 1. CUT ON THE SOUTH SIDE OF LUMB DR. UNWIND!
 2. CUT ON THE NORTH SIDE OF GREEN DRIVE
 ELEVATION = 552.33 FEET
 3. CUT ON THE NORTH SIDE OF THE TOP OF
 CONCRETE BASE OF THE WEST TOWER
 ELEVATION = 422.30 FEET



DRAINAGE AREA MAP
 TRADITIONS AT GRAND HERITAGE PHASE 2
 CITY OF LAVON
 COLLIN COUNTY, TEXAS
 2018005.00



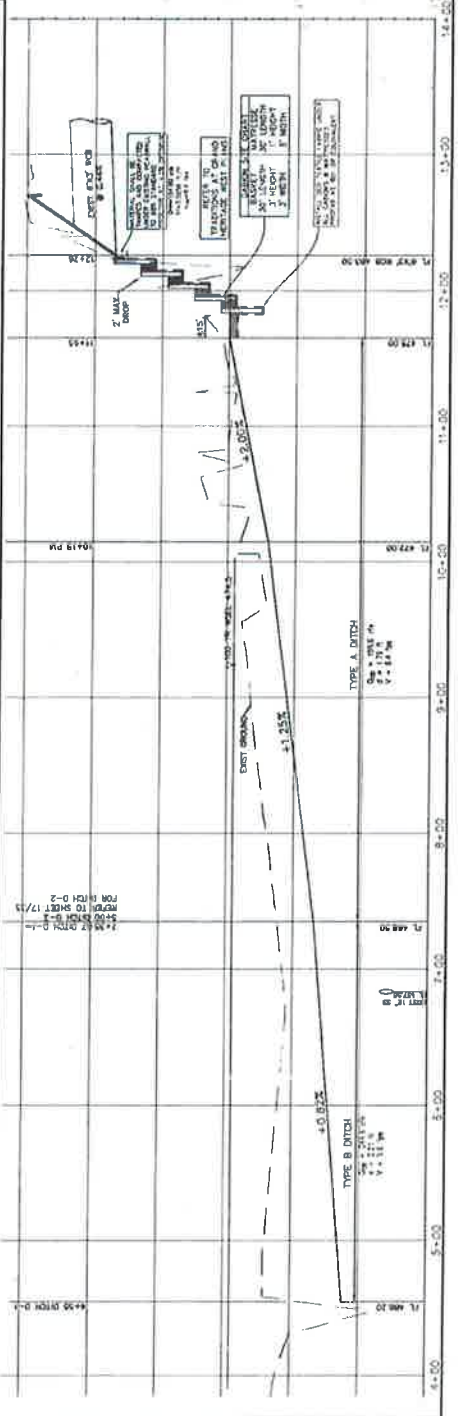
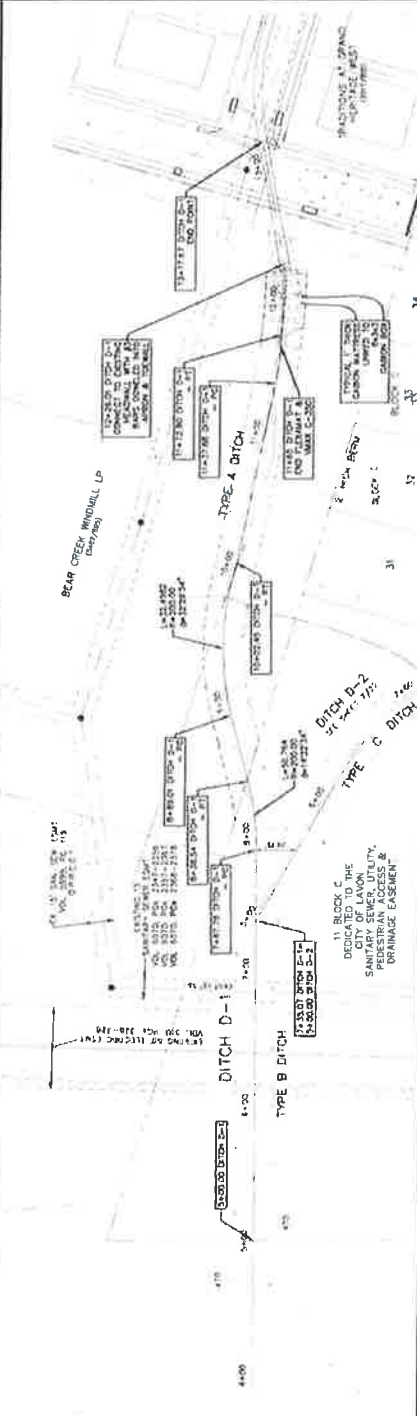
Legend
 GEORGIO FLEINMAT
 V/MAX C350

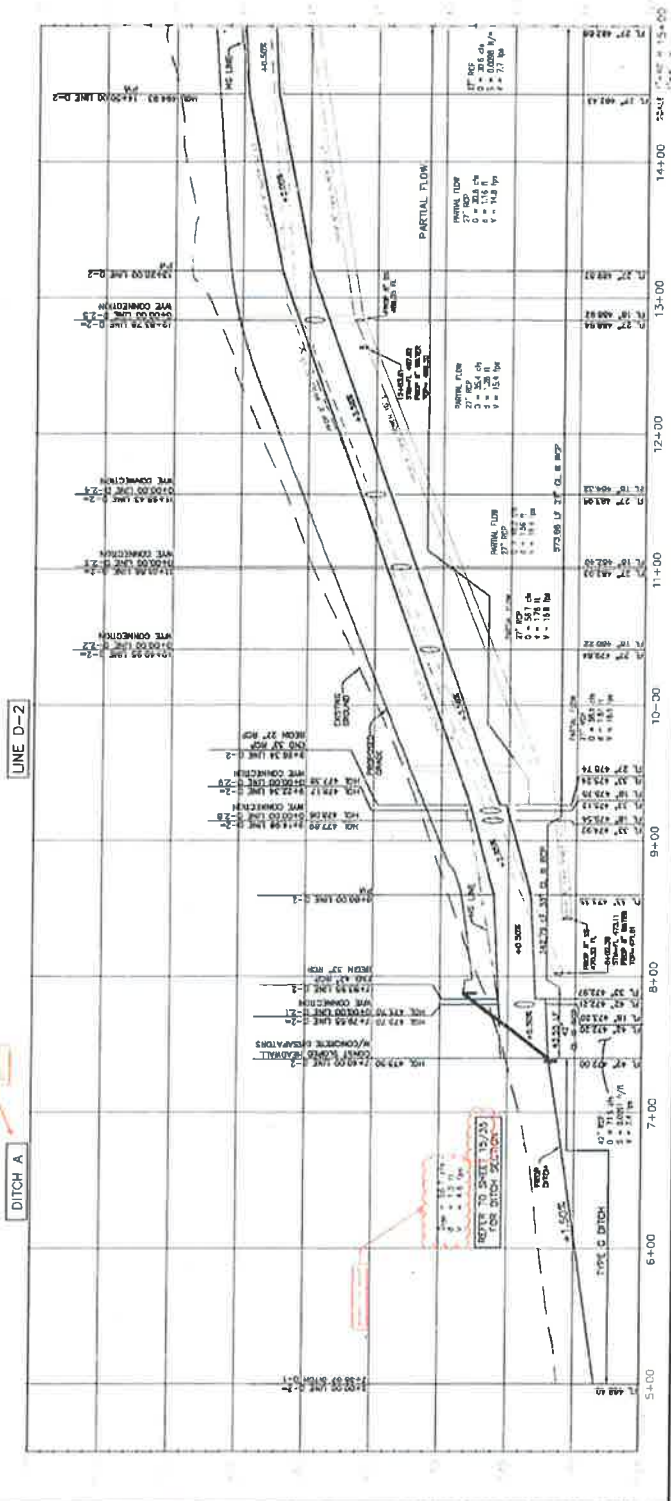
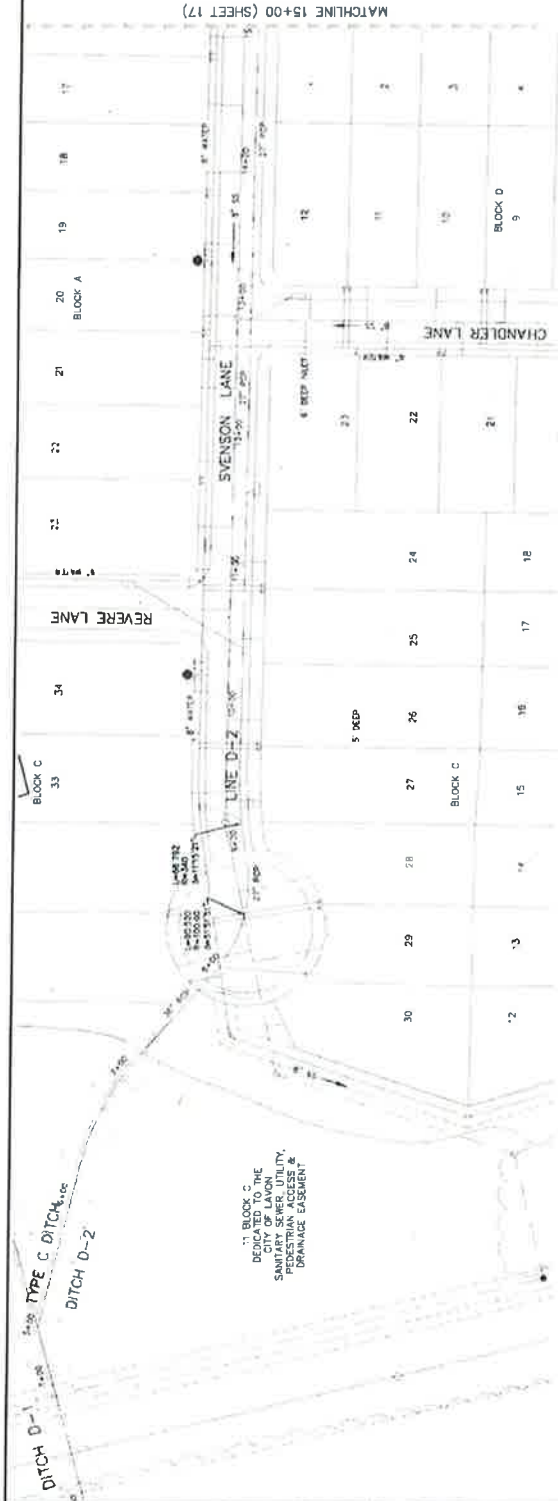
Notes:
 1. CUT ON THE SOUTH SIDE OF CURB OF WINDMILL DRIVE APPROXIMATELY 50 FEET FROM THE CENTRELINE OF CUREN ELEVATION = 534.80 FEET
 2. CUT ON THE NORTH SIDE OF THE TOP OF CONCRETE BASE OF THE ELEVATION = 422.20 FEET

BENCHMARKS:
 1. 0" CUT ON THE SOUTH SIDE OF CURB OF WINDMILL DRIVE APPROXIMATELY 50 FEET FROM THE CENTRELINE OF CUREN ELEVATION = 534.80 FEET
 2. 2" CUT ON THE NORTH SIDE OF THE TOP OF CONCRETE BASE OF THE ELEVATION = 422.20 FEET

STORM SEWER PLAN & PROFILE
 DITCH D-1
 TRADITIONS AT GRAND HERITAGE PHASE 2
 CITY OF LAVON
 COLLIN COUNTY, TEXAS

2018005.00





APRIL 8, 2018
 "1" CUT ON THE SOUTH TOP OF CURB OF WINDMILL DRIVE APPROXIMATELY 55 FEET FROM THE CENTERLINE OF GROUND ELEVATION = 504.90 FEET
 "2" CUT ON THE NORTH SIDE OF THE TOP OF CONCRETE BASE OF THE WEST TOWER ELEVATION = 472.20 FEET

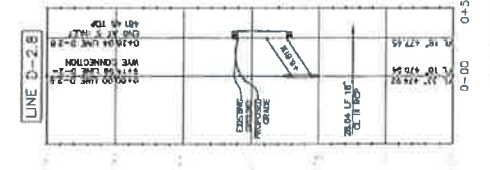
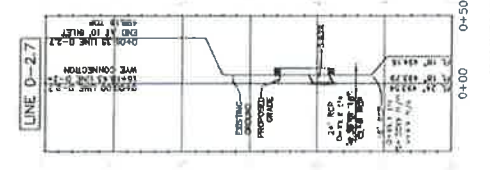
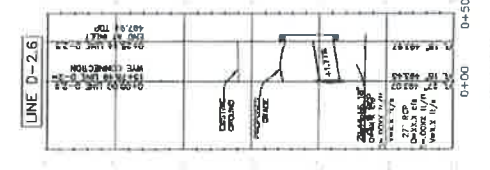
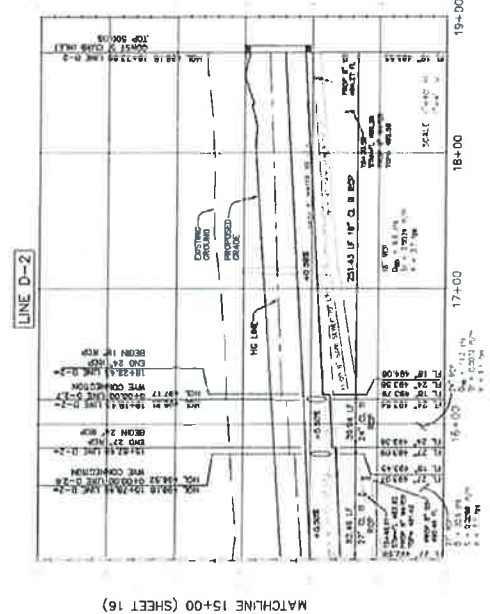
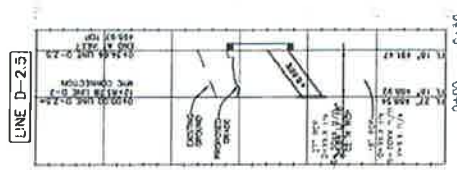
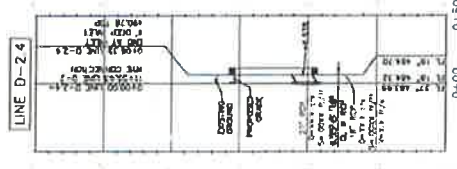
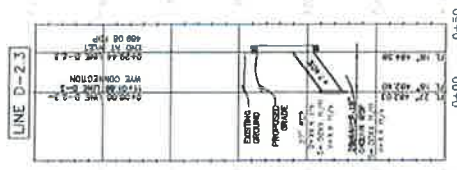
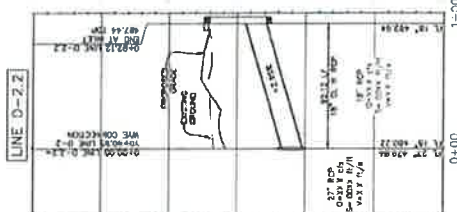
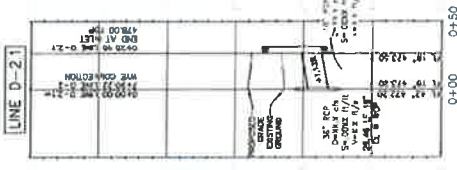
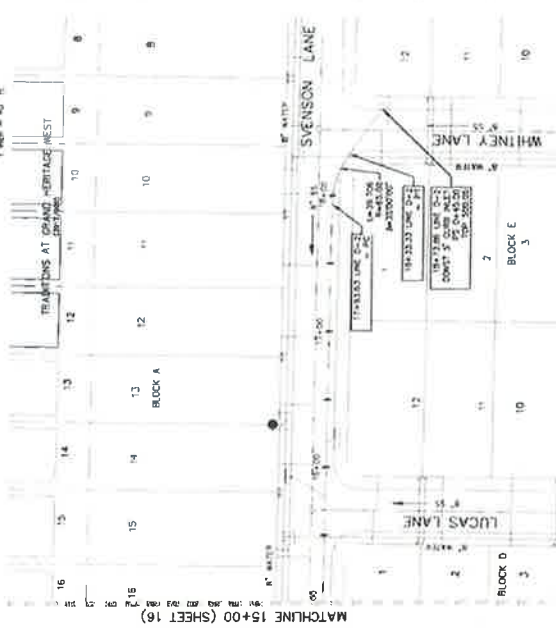
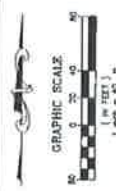
16 30

STORM SEWER PLAN & PROFILE
 LINE D-2
 TRADITIONS AT GRAND HERITAGE PHASE 2
 CITY OF LANYON
 COLLIN COUNTY, TEXAS

DESIGNED BY: [Redacted]
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 DATE: 08/14/18

2018005.00

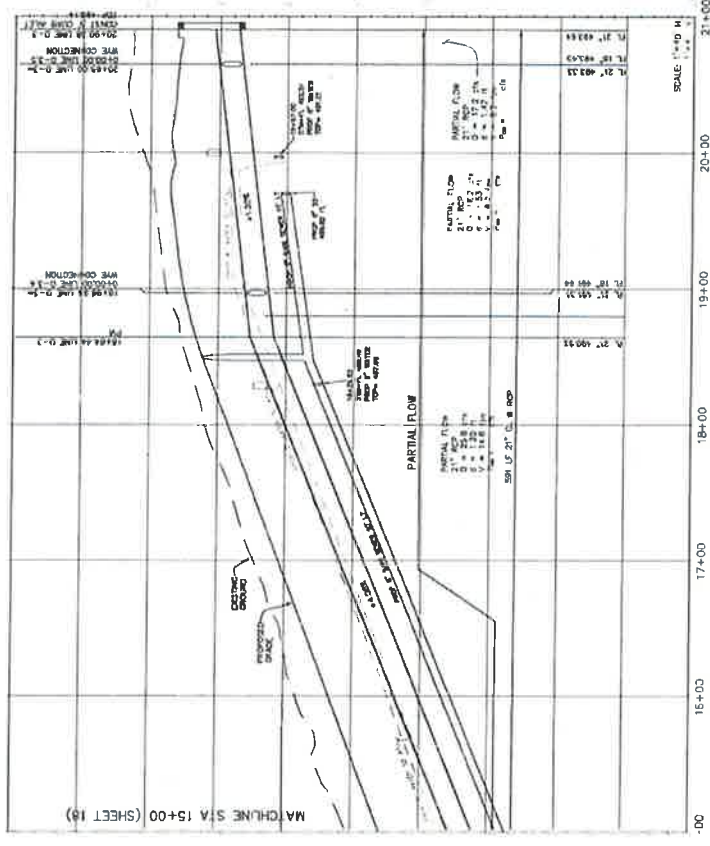
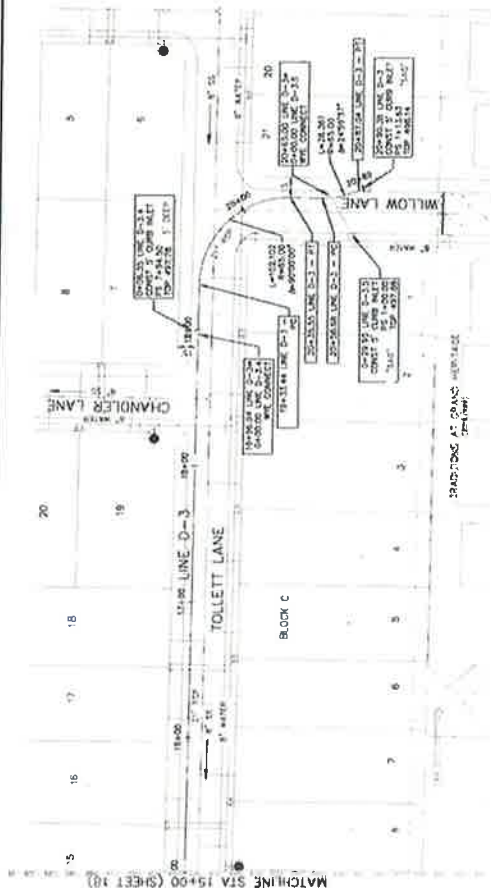
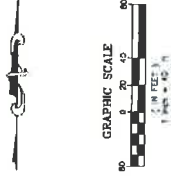
MATCHLINE 15+00 (SHEET 17)



NO ADJUSTMENTS TO BE MADE TO THIS PLAN FOR CONSTRUCTION

- BENCHMARKS:**
- 1 "5" CUT ON THE SOUTH TOP OF CURB-HIGH-WALL MILL CENTERLINE OF GREEN DRIVE ELEVATION = 506.50 FEET
 - 2 "6" CUT ON THE NORTH SIDE OF THE TOP OF CONCRETE BASE OF THE WEST TOWER ELEVATION = 522.30 FEET

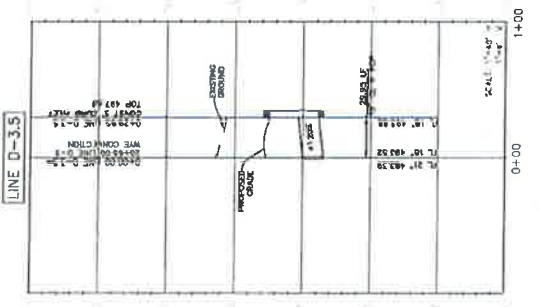
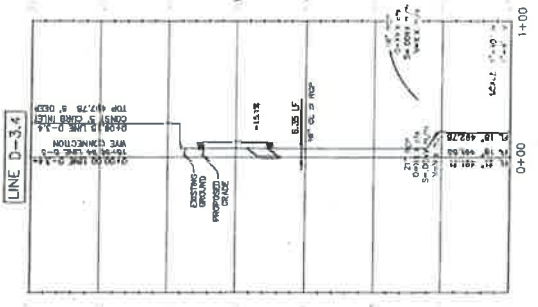
17 30
STORM SEWER PLAN & PROFILE
LINE D-2
TRADITIONS AT GRAND HERITAGE PHASE 2
CITY OF LAVON
COLLIN COUNTY, TEXAS
DATE: 08/04/16 PROJECT NO.: 2018005.00

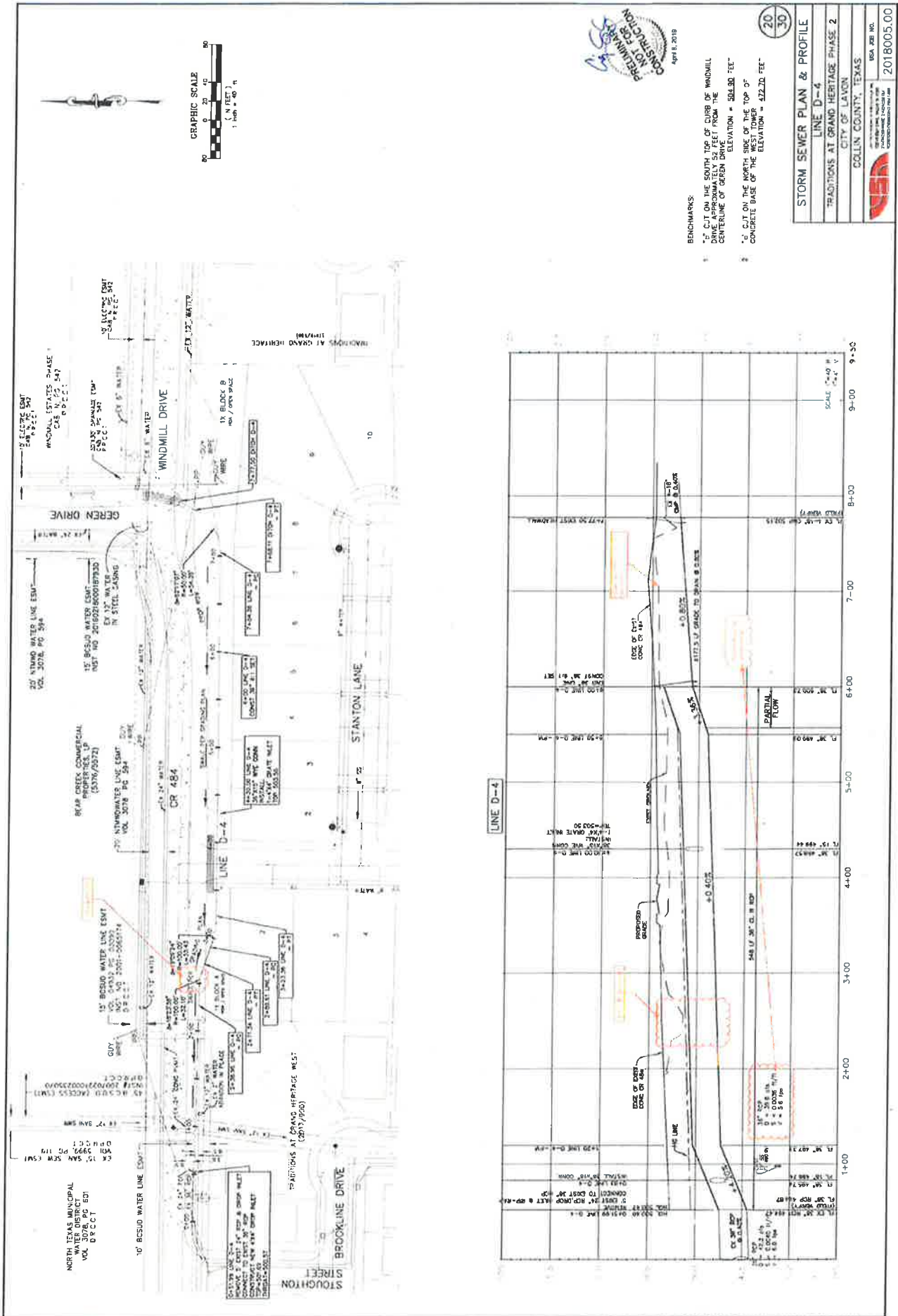


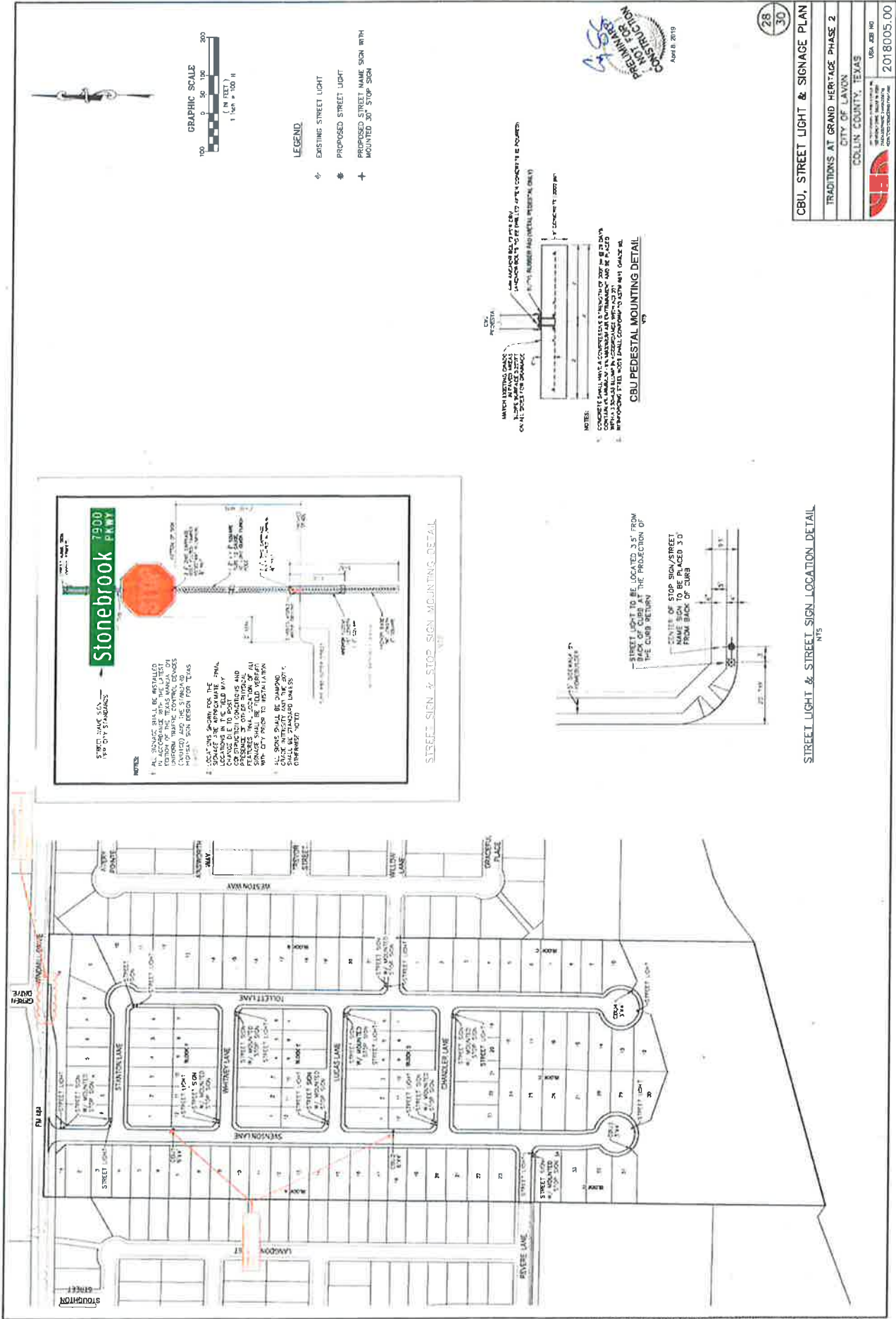
BENCHMARKS:
 1. "C" CUT ON THE SOUTH SIDE OF CURB OF WINDMILL DRIVE APPROXIMATELY 52 FEET FROM THE CENTERLINE OF GREEN DRIVE. ELEVATION = 505.93 FEET
 2. "C" CUT ON THE NORTH SIDE OF THE TOP OF CONCRETE BASE OF THE ELEVATION = 472.20 FEET

19
30

STORM SEWER PLAN & PROFILE
 LINE D-3, D-3a & D-3b
 TRADITIONS AT GRAND HERITAGE PHASE 2
 CITY OF LAVON
 COLLIN COUNTY, TEXAS
 USA, LPE, INC.
 20180005.00







28
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CBU, STREET LIGHT & SIGNAGE PLAN

TRADITIONS AT GRAND HERITAGE PHASE 2
CITY OF LAVON
COLLIN COUNTY, TEXAS

USA, 488 80
2018005.00



TRAIL PLAN

TRADITIONS AT GRAND HERITAGE PHASE 2
 CITY OF LAVERN
 COLLIN COUNTY, TEXAS

DATE: 08/20/2018
 DRAWN BY: [Name]
 PROJECT NO: 20180005.00

NOTES:
 THIS TRAIL PLAN IS FOR INFORMATION ONLY.
 IT IS NOT TO BE USED FOR CONSTRUCTION.

GRAPHIC SCALE
 1" = 100'
 1" = 100'

TRAIL PLAN



MINUTES
FEBRUARY 26, 2019
LAVON PLANNING AND ZONING COMMISSION
CITY HALL, 120 SCHOOL ROAD, LAVON, TEXAS
7:00 PM

ATTENDING: DAVID ROSENQUIST, CHAIRMAN, SEAT 5
BRAD TIEGS, SEAT 1
DEBORAH NABORS, VICE CHAIR, SEAT 2
CYNTHIA COKER, SEAT 3 (Arrived at 7:03 p.m.)
TOM ORMSBY, SEAT 4
VICKI SANSON, EX OFFICIO, COUNCIL LIAISON

- 1. MR. ROSENQUIST CALLED THE PLANNING & ZONING COMMISSION MEETING TO ORDER AT 7:00 P.M. AND ACKNOWLEDGED A QUORUM PRESENT.**
- 2. MR. ROSENQUIST LED THE RECITATION OF THE PLEDGE OF ALLEGIANCE AND DELIVERED AN INVOCATION.**
- 3. ITEMS OF INTEREST/ COMMUNICATIONS.**

April 13 – LEDC Spring Small Business Bazaar
April 13 - CISD Foundation’ Denim and Diamonds Fundraising event at the Hilton in Rockwall
April 20 – Spring Fling and Breakfast with the Bunny
April 25 – Lavon Area Chamber of Commerce and CISD Awards Banquet at Bear Creek Center
April 27 – X-treme Green Household Hazardous Waste Collection event

4. CITIZEN COMMENTS

There were no citizen comments.

5. ITEMS FOR CONSIDERATION

A. Discussion and action regarding the Minutes of the January 22, 2019 Meeting.

MOTION: APPROVE THE MINUTES OF THE JANUARY 22, 2019 MEETING.

MOTION MADE: NABORS
SECONDED: ORMSBY
APPROVED: UNANIMOUS

B. Discussion and action regarding the preliminary plat of the Traditions, Phase 2 addition on 30.485 acres of land situated in the Drury Anglin Survey, Abstract No. 2, (CCAD Property ID 1250096), south of the intersection of Geren Dr. and Windmill Dr., Collin County, Texas and consisting of 111 residential lots.

MOTION: RECOMMEND APPROVAL OF THE PRELIMINARY PLAT OF THE TRADITIONS, PHASE 2 ADDITION ON 30.485 ACRES OF LAND SITUATED IN THE DRURY ANGLIN SURVEY, ABSTRACT NO. 2, (CCAD PROPERTY ID 1250096), SOUTH OF THE INTERSECTION OF GEREN DR. AND WINDMILL DR., COLLIN COUNTY, TEXAS AND CONSISTING OF 111 RESIDENTIAL LOTS SUBJECT TO THE CORRECTION OF THE SURVEY NAME, REMOVAL OF THE BEAR CREEK SUD SIGNATURE BOX, ADDITION OF THE TRAIL ALIGNMENT AND RESOLUTION OF THE DRAINAGE DESIGN TO THE CITY ENGINEER’S SATISFACTION.

MOTION MADE: NABORS
SECONDED: ORMSBY
APPROVED: UNANIMOUS

6. WORK SESSION